



Historic Preservation Commission

Members:

Mr. Larry Jackson – Chairperson
Mr. Tim Hoffman - Secretary
Dr. Lincoln Wilkins, Jr.
Dr. Brian Plitnik

Mr. Justin T. Paulman
Mr. Nathan C. Williams
Ms. Lynda Lambert
Councilman: Rock Cioni

Staff Liaison: Ruth Davis - Rogers, Historic Preservation Planner

AGENDA

Historic Preservation Commission
City Hall Council Chambers
Nov. 12th, 2025, 4:00 P.M.

CALL TO ORDER

APPROVAL OF MINUTES

- Review and approval of Oct. 2025 meeting minutes

PUBLIC COMMENT

CERTIFICATE OF APPROPRIATENESS

Consent Agenda – these COA's received administrative approval

- 127 Baltimore Street COA25-000046 (*signage*)
Applicant: Larry Jackson
- 320 S. Mechanic Street COA25-000047 (*signage*)
Applicant: MG Permits for Jersey Mikes
- 301 Washington Street COA25-000047 (*window replacement*)
Applicant: Allegany Allergy and Asthma
- 210 S. Centre Street COA25-000049 (*uplighting*)
Applicant: Ed Mullaney
- 10 – 12 S. Mechanic Street RCA25-000007 (*uplighting*)
Applicant: Ed Mullaney
- 7 N. Liberty St. COA25-000050 (*window decal sign*)
Applicant: Amanda Smearman

Regular Agenda – to be reviewed by HPC

- 81 Baltimore Street COA25-000041 (*renovation of building*)
Applicant: Grove & Dall'Olio Architects for Fred and Kristin Timbrook
- 71 Baltimore Street COA25-000045 (*renovation of building*)
Applicant: Grove & Dall'Olio Architects for Fred and Kristin Timbrook

OTHER BUSINESS

Step 1 and 2 Local Tax Credit Approvals

- 71 Baltimore Street – Downtown Cumberland and Local Historic District
- 81 Baltimore Street – Downtown Cumberland and Local Historic District

ANNOUNCEMENTS

- Reschedule December HPC Meeting from the 10th to December 17th

ADJOURNMENT `

MINUTES

HISTORIC PRESERVATION COMMISSION

October 8, 2025

The Cumberland Historic Preservation Commission held its regular meeting on October 8, 2025 within the Council Chambers of City Hall. Members present were Mr. Larry Jackson, Mr. Justin Paulman, Ms. Lynda Lambert, and Councilman, Rock Cioni. Mr. Tim Hoffman attended the meeting virtually.

Others in attendance were, Ms. Ruth Davis-Rogers, Historic Preservation Planner/Grants Management, and Ms. Shannon Berry, Assistant to the City Clerk. Applicants present were Ed Mullaney, Stone Lyons, Jason Wolford, and Mike Fiscus.

Mr. Larry Jackson, called the meeting to order. He read the following statement into the record: "The Cumberland Historic Preservation Commission exists pursuant to Section 11 of the City of Cumberland Municipal Zoning Ordinance. Members are appointed by the Mayor and City Council and shall possess a demonstrated special knowledge or professional or academic training in such fields as history, architecture, architectural history, planning, archeology, anthropology, curation, conservation, landscape architecture, historic preservation, urban design, or related disciplines. The Commission strives to enhance quality of life by safeguarding the historical and cultural heritage of Cumberland. Preservation is shown to strengthen the local economy, stabilize and improve property values, and foster civic beauty. The Cumberland Historic Preservation Commission operates pursuant to State of Maryland 1977 Open Meetings Act and therefore no pending applications shall be discussed between or amongst Commissioners outside the public hearing to determine the disposition of the application."

APPROVAL OF MINUTES

1. Minutes from September 2025 were approved as written. **Mr. Justin Paulman made the motion to approve. Ms. Lynda Lambert seconded the motion. All members were in favor. Motion approved.**

PUBLIC COMMENTS

- N/A

REGULAR AGENDA

- 111 Hanover St. COA25-000032 (demolition of building)

Applicant: Jason Wolford

- 107 Hanover St. COA25-000035 (*demolition of building*)

Applicant: Jason Wolford

Jason Wolford explained that he would like to demolish both buildings to create parking for his units on Centre and Hanover Streets. He had an evaluation conducted by SPEC Inc. that detailed the issues within the buildings. When he acquired the buildings, restoration was not an option due to their severe condition. Water leakage caused the foundation to separate, and the walls have bulged out toward the Corner Tavern. He currently owns the buildings next to JJ's Pizza and plans to finish the center building, which would add four more units, but parking remains a concern. The renovation cost for 107/109/113 would be approximately \$500K. He mentioned a house further up the street that cost its owner \$500K to renovate to meet HPC guidelines.

Larry Jackson praised Jason for his work on preserving buildings but raised some concerns. With experience in historic renovations, he questions the report and disagrees with some of its conclusions. He asked Jason if he would consider removing the buildings for parking while keeping the façades to enhance the streetscape. This approach could provide an updated façade, include parking behind it, and potentially increase the value of the 113 building. Larry cited Ottaviani's as an example. Jason is hesitant because of the extensive bracing that would be required. Ottaviani's situation is different because their support is between two other buildings, but he said he would look into it. Tim Hoffman mentioned that he has reviewed the properties, understands the costs involved in the renovation, and suggested salvaging bricks to create a decorative wall.

Ed Mullany suggested that, because the building has features similar to the Board of Education (BOE) building, a stone wall with pillars and wrought-iron connections should be created. The design would build up the front of the buildings. All members were in favor of the idea, and Jason said he would go look at the BOE building and look into the design.

Mr. Justin Paulman made the motion to approve the demolition, COA25-000032, and COA25-000035 with conditions that plans be made and shared for the parking lot and creating a stone wall for administrative approval. Mr. Tim Hoffman seconded the motion. All members were in favor. Motion approved.

- 1 Washington St. COA25-000042 (*new roof*)

Applicant: Ed Mullany

Ed Mullany explained that he owns the two buildings at the bottom of the hill, which are referred to as 1/3/5 but are considered one structure. It is the home to Mountainside Home Realty. The building has a rich history and has been home to many businesses over the years. The roof he proposes installing is a metal roof used for buildings of that architectural style, and the paint color would be colonial blue. He pointed out on the slide which areas the paint would be applied to. The pink brick would be light grey, and the white and black accents would remain the same. All members agreed that the proposed ideas meet all the HPC benchmark requirements.

Mr. Justin Paulman made the motion to approve, COA25-000042. Ms. Lynda Lambert seconded the motion. All members were in favor. Motion approved.

- 15 Greene St. Cumberland Masonic Temple COA25-000043 (*solar panels*)

Applicant: Energy Select

Stone Lyons, representing Energy Select, presented a proposal to install 88 solar panels on the roof of the Masonic Temple. He referred to the photograph to point out the limited visibility of the roof from the street view. The energy offset would be 115% and with energy prices rising, the cost is going to triple in the next 30 years. Because the building is a non-profit, these savings will help control costs. The panels would not impact foot traffic and would only be visible from the highway. Some will be put on the back building with minimal view from the Cherry Alley side. All board members agreed with the installation

Mr. Tim Hoffman made the motion to approve, COA25-000043. Mr. Justin Paulman seconded the motion. All members were in favor. Motion approved.

- 120 Fayette St. COA25-000044

(*convert window to door, replace a few doors and windows, add storm windows*)

Applicant: Mike Fiscus/Robotics and Engineering in Allegany County - Together (REACT)

Mike Fiscus is proposing to convert a window on the lower level of the parish hall into an exit door to increase the occupancy capacity in the north classroom. They would also like to modify the closest exit to make it emergency egress ready. The south classroom has five windows, which they would like to open as well, resulting in seven

windows and one doorway. Tom Pritz, the Architect, showed the modified areas Mike was speaking of on the slide.

The windows of the L-shaped classroom on the south side of the building will remain boarded up. Tom pointed out on the slide that they would like to restore the windows and are requesting permission to install laminated storm glass over the historic windows to protect them and add security. They believe the windows were previously boarded up due to break-ins. He noted the door replacement on the slide as well.

Mr. Justin Paulman made the motion to approve, COA25-000044. Ms. Lynda Lambert seconded the motion. All members were in favor. Motion approved.

Mr. Larry Jackson read the approval statement: We have studied the application in all other relevant documents and presentation related to the for-mention cases COA25-000032, COA25-000035, COA25-000042, and COA25-0000044. We find the properties on the approve Certificate of Appropriateness contribute to the Historic Districts where they are located and the proposed changes are consisted with guidelines and criteria found in the Historic Preservation District designed guidelines for Cumberland Maryland.

OTHER BUSINESS/STAFF UPDATES

- Ruth Davis-Rogers advised of two applications for tax credits: 57 Baltimore Street and 132 Springdale Street. Although not a historic property, we are encouraging improvements. We are awaiting additional paperwork, but this would be the first step in acknowledging that the property is in a historic district. The improvements would be to the interior, and Larry Jackson asked why HPC is being presented with the proposal for approval.

Tim Hoffman updated the improvements for 57 Baltimore Street, which include installing a new internal stairway from the 3rd floor down to the rear exit of the building. Doing this allows for the addition of another apartment on the 3rd floor. The installation of sprinklers has been submitted to the Fire Marshall. Depending on funding, window replacement could also be done.

Mr. Justin Paulman made the motion to approve, step one for 57 Baltimore Street and 132 Springdale Street. Ms. Lynda Lambert seconded the motion. All members were in favor. Motion approved.

Ruth noted that she sent out updates to the Downtown National Register Update and asked members to review it and advise of any discrepancies.

An audio of tonight's meeting is available upon request.

ADJOURMENT

Mr. Larry Jackson adjourned the meeting.

Respectfully,

Mr. Tim Hoffman, Secretary

City of Cumberland - Dept. of Community Development

Internal Routing Sheet

Permit or Review #: **COA25-000046**

Permit or Review Type: Certificate of Appropriateness

Project Location: 127 BALTIMORE ST CUMBERLAND, MD 21502

Applicant Contact Information: Name: QC Rentals LLC
Address: 841 Windsor RD
City/State/Zip: Cumberland MD 21502-2729
Phone: [REDACTED]
Email: [REDACTED]

Contractor Contact Information: Company Name: WESTERN MARYLAND SIGN CO.
Contact:
Address: 14 VILLAGE PKWY
City/State/Zip: FROSTBURG MD 21532
Phone:
Email:

Date of Application: 10/17/2025
Work Description: (narrative box)
Lily Books and Cafe new signage

Amount Paid: 0.00
Amount Due: 30.00



CERTIFICATE OF APPROPRIATENESS DECISION

Certificate of Appropriateness #COA25-000046

Agenda Item: COA25-000046

Project Address: 127 BALTIMORE ST

Meeting Date: 10/24/2025

Property Number: 22003941

Issued

Larry Jackson
841 Windsor Rd.
Cumberland, MD 21502

Dear Applicant:

The Historic Preservation Commission of the City of Cumberland on the above date, considered the application for construction at the above address as follows:

Exterior improvements are to include: Lily Books and Cafe new signage

The application was:

Issued

APPROVED with the following conditions: Administrative Approval by Ruth Davis-Rogers 10/24/25. In addition to a Certificate of Appropriateness approval, this project will also require a sign permit and any other permits involved in the opening of a new business.

Sincerely,

Ruth Davis-Rogers

Cc:Planning and Zoning
COA File

NOTE: Please note that the approval listed above only constitutes the approval of the Historic Preservation Commission. You must still ensure that all other permits associated with this project, if required, have been applied for and approved by the Building and Zoning Officer.
EXPIRATION OF CERTIFICATES OF APPROPRIATENESS: This application hereby expires six months following the file date if no action is taken to start specified work. Also, the application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision.



CITY OF CUMBERLAND MARYLAND

DEPARTMENT OF COMMUNITY DEVELOPMENT

57 N. LIBERTY STREET, CUMBERLAND, MD 21502 • PHONE 301-759-6442 • FAX 301-759-6432 • TDD 800-735-2258
www.cumberlandmd.gov

Permit Number: COA25-000046

Approval Date: 10/24/2025

Certificate of Appropriateness Permit

Permit issued as per plans and subject to all applicable Preservations Guidelines, City Codes and regulations.

Project Location:	127 BALTIMORE ST	Date applied:	10/17/2025
MD Prop. #:	22003941	Work expected to begin:	10/24/2025
Owner:	TOWN CENTER DEV GROUP LLC		
Applicant:	QC Rentals LLC	Contractor:	WESTERN MARYLAND SIGN CO.
Address:	841 Windsor RD	Address:	14 VILLAGE PKWY
City/State/Zip:	Cumberland MD 21502-2729	City/State/Zip:	FROSTBURG MD 21532
Phone:	[REDACTED]	Phone:	
Email:	[REDACTED]	Email:	
		MD Master Plumber License #:	

Quantity	Description	Amount	Total Cost
1.0	Certificate of Appropriateness Review Fee	30.00	30.00
1.0	Convenience Fee	1.00	1.00

Project Description:
Lily Books and Cafe new signage

Administrative Approval by Ruth Davis-Rogers 10/24/25. In addition to a Certificate of Appropriateness approval, this project will also require a sign permit and any other permits involved in the opening of a new business.

Signature / Date

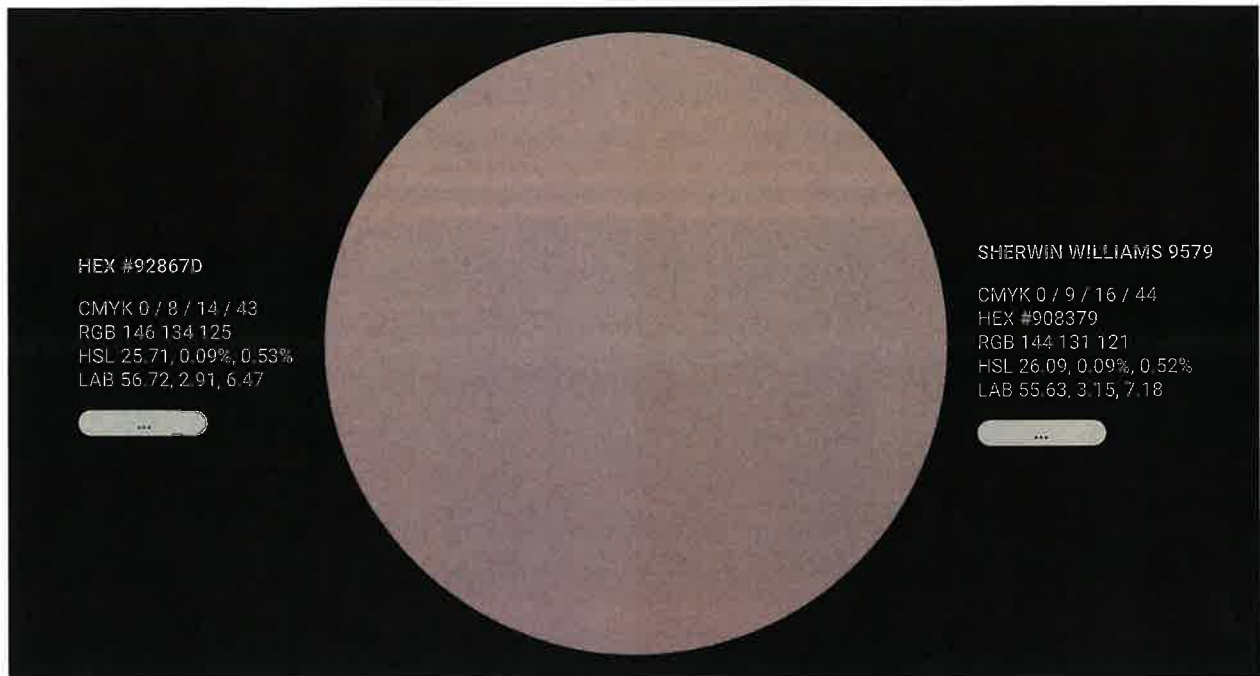
STATEMENT: I hereby agree to comply with all regulations which are applicable hereto, and further agree that the proposed work shall be faithfully carried out as described on this request and as shown on the plans accompanying same, and not otherwise. This application hereby expires six months following the file date if no action is taken to start specified work. Also, this application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision. The application is active for two years.

Larry Jackson

Signature

Existing facade





proposed changes/additions:

1. Transparent window signage on both windows
2. The existing red wooden siding gets painted Sherwin Williams color 9579 timeless taupe
3. A wooden hanging sign that is 12" W x 60" H gets added on left side of front near front door. Sign says 'BOOKS'



City of Cumberland - Dept. of Community Development

Internal Routing Sheet

Permit or Review #: **COA25-000047**

Permit or Review Type: Certificate of Appropriateness

Project Location: 320 S MECHANIC ST CUMBERLAND, MD 21502

Applicant Contact Information: Name: MG Permits
Address: 19187 Foggy Bottom Rd.
City/State/Zip: Bluemont VA 20135
Phone: [REDACTED]
Email: [REDACTED]

Contractor Contact Information: Company Name: MG Permits
Contact: Gary Brent
Address: 19187 Foggy Bottom Rd.
City/State/Zip: Bluemont VA 20135
Phone: [REDACTED]
Email: [REDACTED]

Date of Application: 10/23/2025

Work Description: (narrative box)

Installation of signs

Amount Paid: 0.00

Amount Due: 30.00

PAID



CERTIFICATE OF APPROPRIATENESS DECISION

Certificate of Appropriateness #COA25-000047

Agenda Item: COA25-000047

Project Address: 320 S MECHANIC ST

Meeting Date: 10/24/2025

Property Number: 04050142

Issued

Gary Brent
19187 Foggy Bottom Rd.
Bluemont, VA 20135

Dear Applicant:

The Historic Preservation Commission of the City of Cumberland on the above date, considered the application for construction at the above address as follows:

Exterior improvements are to include: Installation of signs

The application was:

Issued

APPROVED with the following conditions: This Certificate of Appropriateness received administrative approval by Ruth Davis -Rogers, Historic Preservation Planner, on 10/24/25. This approval is for work to be done in the local historic district and does not constitute as an approval for all work. Please check with the Community Development Department to find out if other permits are required. Thank you.

Sincerely,

Ruth Davis-Rogers

Cc:Planning and Zoning
COA File

NOTE: Please note that the approval listed above only constitutes the approval of the Historic Preservation Commission. You must still ensure that all other permits associated with this project, if required, have been applied for and approved by the Building and Zoning Officer.

EXPIRATION OF CERTIFICATES OF APPROPRIATENESS: This application hereby expires six months following the file date if no action is taken to start specified work. Also, the application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision.



DEPARTMENT OF COMMUNITY DEVELOPMENT

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www.cumberlandmd.gov

Permit Number: COA25-000047

Approval Date: 10/24/2025

Certificate of Appropriateness Permit

Permit issued as per plans and subject to all applicable Preservations Guidelines, City Codes and regulations.

Project Location:	320 S MECHANIC ST	Date applied:	10/23/2025
MD Prop. #:	04050142	Work expected to begin:	10/24/2025
Owner:	MATTHEW 7:12 LLC		
Applicant:	MG Permits	Contractor:	MG Permits
Address:	19187 Foggy Bottom Rd.	Address:	19187 Foggy Bottom Rd.
City/State/Zip:	Bluemont VA 20135	City/State/Zip:	Bluemont VA 20135
Phone:	[REDACTED]	Phone:	[REDACTED]
Email:	[REDACTED]	Email:	[REDACTED]
		MD Master Plumber License #:	[REDACTED]

Quantity	Description	Amount	Total Cost
1.0	Certificate of Appropriateness Review Fee	30.00	30.00
1.0	Convenience Fee	1.00	1.00

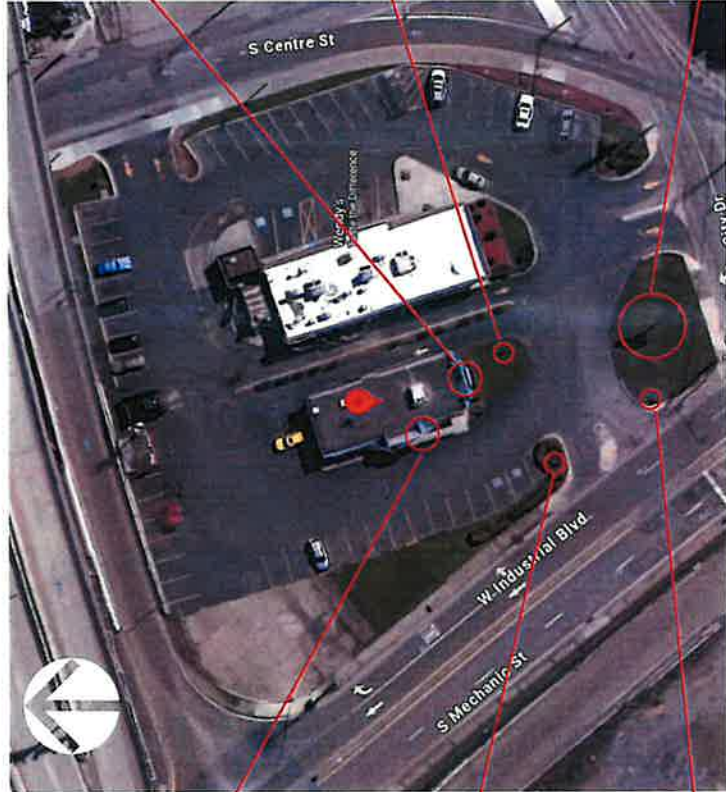
Project Description:
Installation of signs

This Certificate of Appropriateness received administrative approval by Ruth Davis -Rogers, Historic Preservation Planner, on 10/24/25. This approval is for work to be done in the local historic district and does not constitute as an approval for all work. Please check with the Community Development Department to find out if other permits are required. Thank you.

Signature / Date

STATEMENT: I hereby agree to comply with all regulations which are applicable hereto, and further agree that the proposed work shall be faithfully carried out as described on this request and as shown on the plans accompanying same, and not otherwise. This application hereby expires six months following the file date if no action is taken to start specified work. Also, this application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision. The application is active for two years.

Signature



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CLIENT & LOCATION

THESSALONIANS 518 LLC
320 S MECHANIC STREET
CUMBERLAND, MD 21502



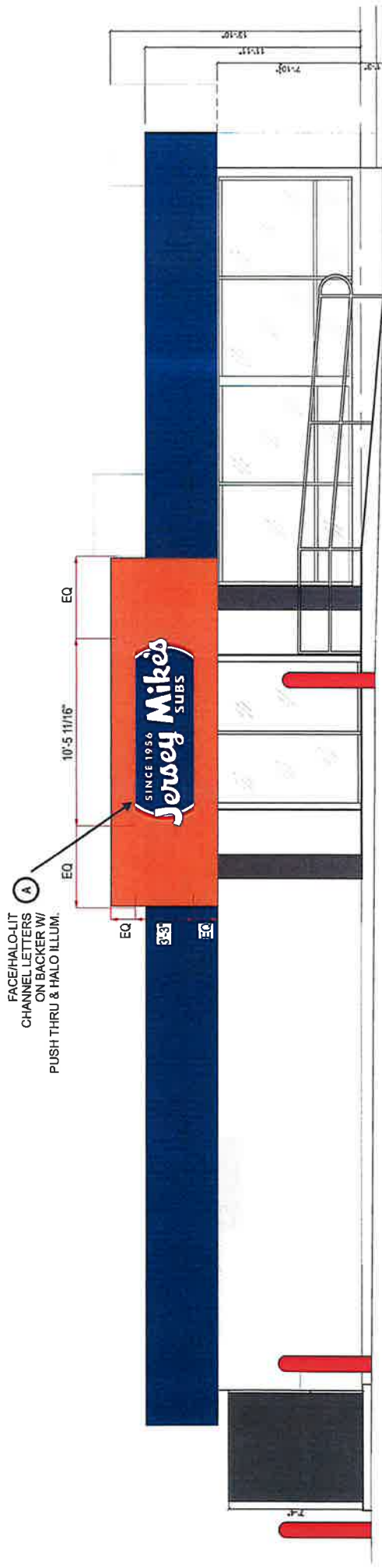
LEAD NO. 228432R3
SM/PM SA-VW
DATE 5/23/2025
ARTIST JMI
REVIEW
SEG. NO.

SHEET NO.

1

EXTERIOR ELEVATION - WEST

SCALE: 3/16"=1'-0"



1

WEST ELEVATION W/ COVERED COOLER

SCALE 1/4" = 1'-0"

PERSONA TRIANGLE FACILITY SERVICES LIGHTING SIGNAGE		11 Acar Court • P.O. Box 24186 Baltimore, Maryland 21227 T: 410-247-3300 • F: 410 247-1944 Reproduction in Whole or in Part Prohibited without Express Permission of PersonaTriangle © TSS		CLIENT & LOCATION  THESSALONIANS 518 LLC 320 S MECHANIC STREET CUMBERLAND, MD 21502		LEAD NO. 228432R3 DATE 5/23/2025 REVIEW		SHEET NO. 4 of 10	
				SMMPM SA - VW ARTIST JM SEG. NO.					

2

SCALE 1/4" = 1'-0"

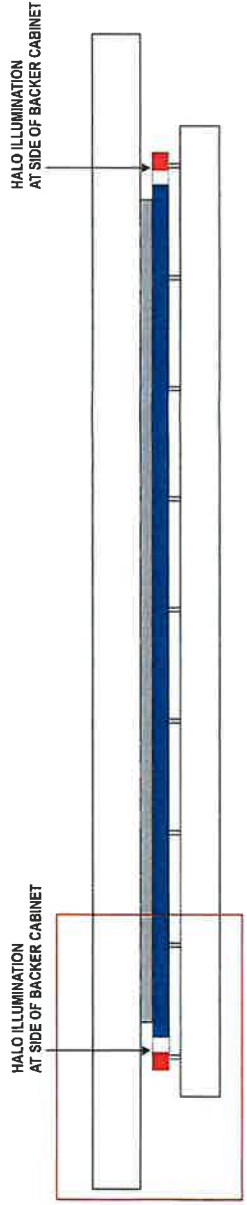
PERSONA TRIANGLE FACILITY SERVICES LIGHTING SIGNAGE	11 Aztec Court • P.O. Box 24186 Baltimore, Maryland 21227 T: 410-247-5300 • F: 410 247-1944 Reproduction in Whole or in Part Prohibited without Express Permission of PersonaTriangle © TSS	CLIENT & LOCATION  THESSALONIANS 518 LLC 320 S MECHANIC STREET CUMBERLAND, MD 21502 SA - VW	LEAD NO. 228432R3	DATE 5/23/2025	REVIEW	SHEET NO. 5 of 10
			SMIPN	ARTIST JM	SEG. NO.	

PLAN VIEW

HALO ILLUMINATION
AT SIDE OF BACKER CABINET

HALO ILLUMINATION
AT SIDE OF BACKER CABINET

1 1/2" SPACER CABINET
2" BACKER
1 1/2" SP.
5" LETTERS

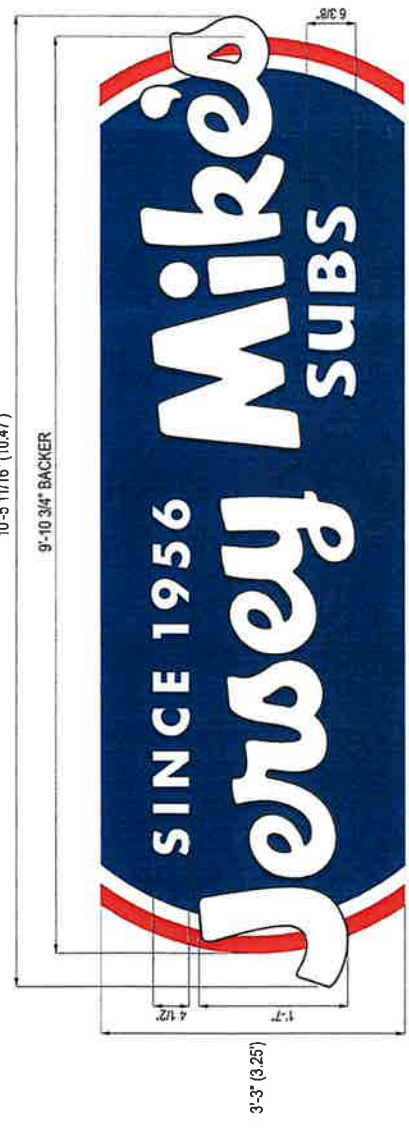


QTY.: TWO (2) FACE/HALO-LIT
CHANNEL LETTERS W/ ILLUM. BACKER

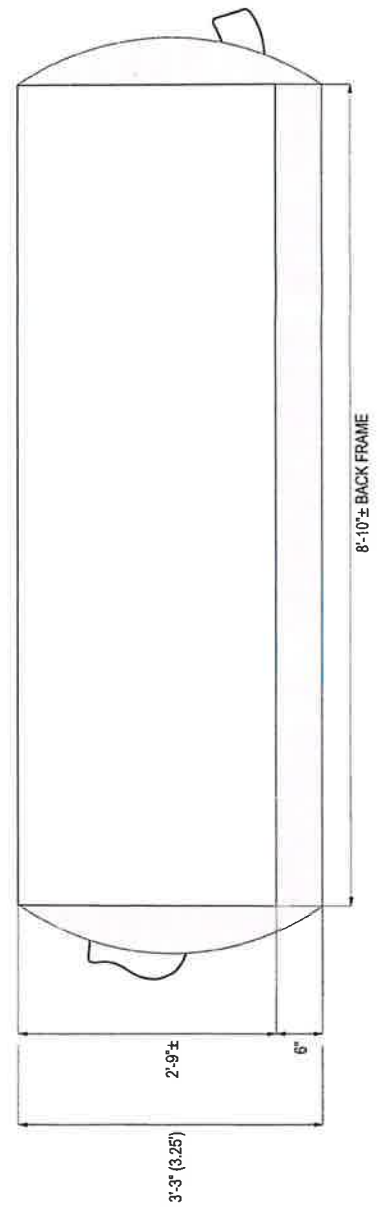
3'-3" (3.25') x 10'-5 11/16" (10.47") = 34.04SQ. FT

10'-5 11/16" (10.47")

9'-10 3/4" BACKER



TYP. FRONT



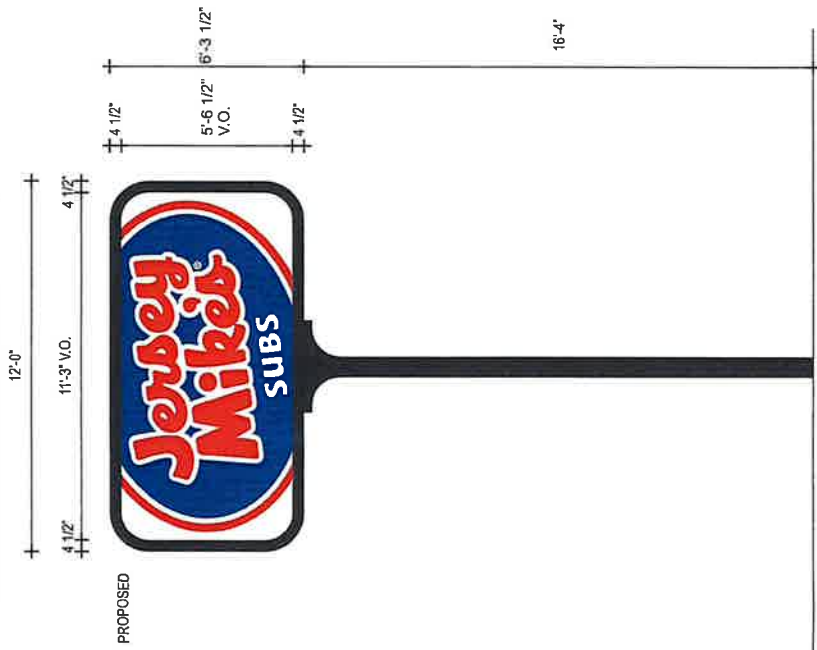
White Acrylic # 7302	Brushed Silver	Bright Brushed Clear Anodized Aluminum	White	PMS 584	PMS 485
Face	Trimcaps	Returns	Backer	Backer	Backer

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							SA - VW	ARTIST JM	SEG. NO.	

PYLON SIGN ELEVATION
SCALE: 1"=1'-0"

B

QTY: TWO (2) NEW WHITE LEXAN FACES
WITH VINYL GRAPHICS STANDARD COLORS
FOR EXISTING DIF PYLON SIGN.
NOTE: RETROFITTING PYLON WITH LEDS AND
EXISTING POLE AND RETAINERS FINISHED BLACK



REMOVE EXISTING FACES AND CHANGEABLE SIGN CABINET,
POLE, RETAINER, POLE COVER & RETURNS TO BE PAINTED BLACK SATIN



EXISTING

PROPOSED



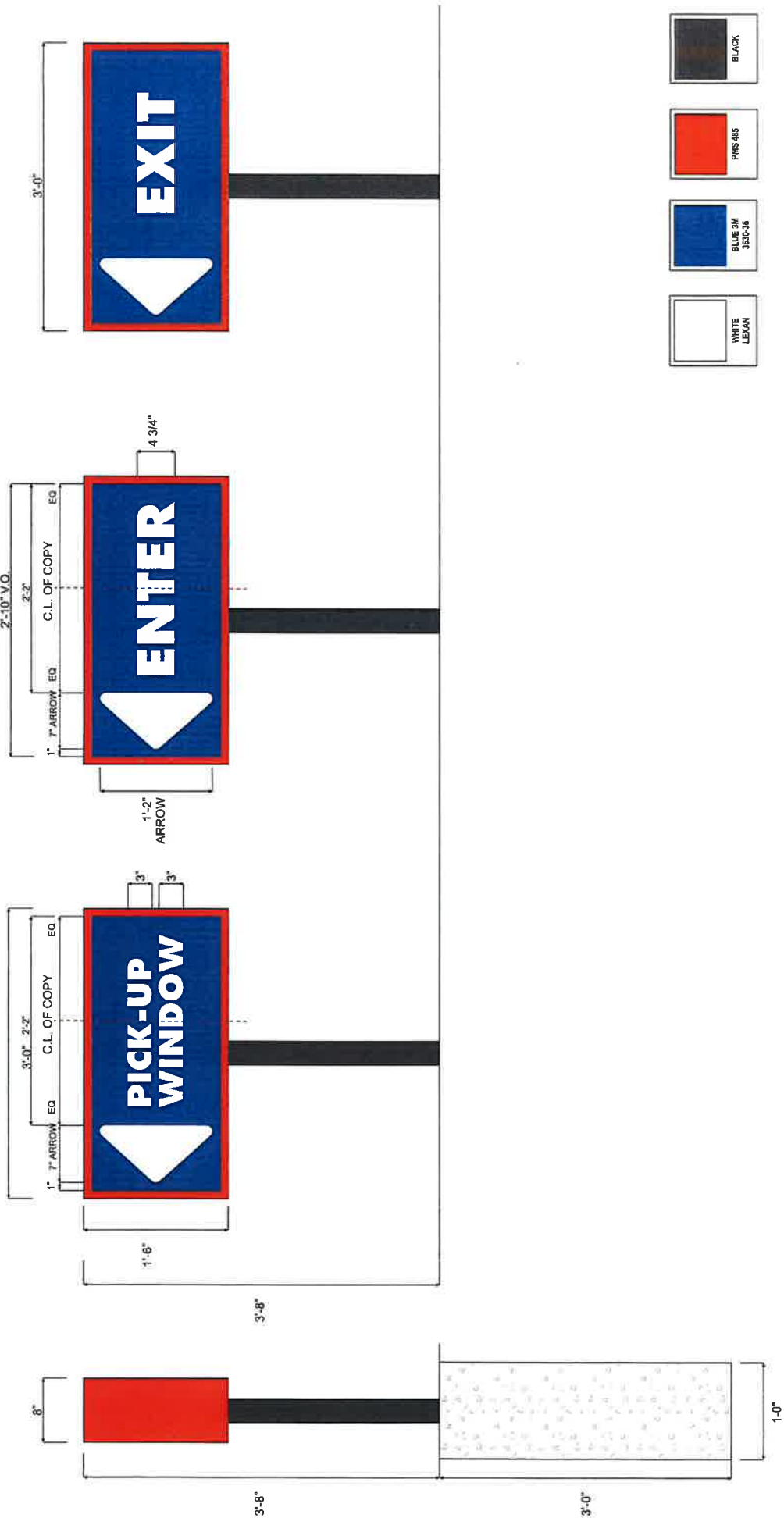
WAYFINDING SIGNAGE ELEVATIONS
SCALE: 1"=1'-0"

QTY.: ONE (1) EACH THREE (3) TOTAL
INTERNALLY ILLUM. DIRECTIONAL SIGN

SIGN C-1 DRIVE THRU

SIGN C-2 ENTER

SIGN C-3 EXIT



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	Jersey Mike's EST. 1975		SA - VW	ARTIST JM	SMPM	SEG. NO.	REVIEW	SHEET NO.



CERTIFICATE OF APPROPRIATENESS DECISION

Issued

Certificate of Appropriateness #COA25-000049

Agenda Item: COA25-000049

Project Address: 210 S CENTRE ST

Meeting Date: 11/04/2025

Property Number: 22015559

Edward P Mullaney *
(re: Rental Properties)
Cumberland, MD 21502-2832

Dear Applicant:

The Historic Preservation Commission of the City of Cumberland on the above date, considered the application for construction at the above address as follows:

Exterior improvements are to include: Place 6 Lumark TCRL15S on former Cumberland Armory, aka Windsor Castle, that will uplift front of building.

The application was:

Issued

APPROVED with the following conditions: This Certificate of Appropriateness was approved administratively by Ruth Davis-Rogers on 11/4/25. This approval is for work to be done in the local historic district and does not constitute as an approval for all work. Please check with the Community Development Department to find out if other permits are required. Thank you.

Sincerely,

Ruth Davis-Rogers

Cc:Planning and Zoning
COA File

NOTE: Please note that the approval listed above only constitutes the approval of the Historic Preservation Commission. You must still ensure that all other permits associated with this project, if required, have been applied for and approved by the Building and Zoning Officer.

EXPIRATION OF CERTIFICATES OF APPROPRIATENESS: This application hereby expires six months following the file date if no action is taken to start specified work. Also, the application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision.



CITY OF CUMBERLAND MARYLAND

DEPARTMENT OF COMMUNITY DEVELOPMENT

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www.cumberlandmd.gov

Permit Number: COA25-000049

Approval Date: 11/04/2025

Certificate of Appropriateness Permit

Permit issued as per plans and subject to all applicable Preservations Guidelines, City Codes and regulations.

Project Location:	210 S CENTRE ST	Date applied:	11/03/2025
MD Prop. #:	22015559	Work expected to begin:	11/04/2025
Owner:	ARMORY ON CENTRE LLC		
Applicant:	Edward Mullaney *	Contractor:	Braddock Electric
Address:	(re: Rental Properties) 213 Fayette St	Address:	806 N. Mechanic Street
City/State/Zip:	Cumberland MD 21502-2832	City/State/Zip:	Cumberland MD 21502
Phone:	[REDACTED]	Phone:	[REDACTED]
Email:	[REDACTED]	Email:	[REDACTED]
		MD Master Plumber License #:	8297

Quantity	Description	Amount	Total Cost
1.0	Certificate of Appropriateness Review Fee	30.00	30.00

Project Description:
Place 6 Lumark TCRL15S on former Cumberland Armory, aka Windsor Castle, that will upright front of building.

This Certificate of Appropriateness was approved administratively by Ruth Davis-Rogers on 11/4/25. This approval is for work to be done in the local historic district and does not constitute as an approval for all work. Please check with the Community Development Department to find out if other permits are required. Thank you.

Signature / Date

STATEMENT: I hereby agree to comply with all regulations which are applicable hereto, and further agree that the proposed work shall be faithfully carried out as described on this request and as shown on the plans accompanying same, and not otherwise. This application hereby expires six months following the file date if no action is taken to start specified work. Also, this application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision. The application is active for two years.

Signature

City of Cumberland - Dept. of Community Development

Internal Routing Sheet

Permit or Review #: **COA25-000049**

Permit or Review Type: Certificate of Appropriateness

Project Location: 210 S CENTRE ST CUMBERLAND, MD 21502

Applicant Contact Information: Name: Edward Mullaney *
Address: (re: Rental Properties) 213 Fayette St
City/State/Zip: Cumberland MD 21502-2832
Phone: [REDACTED]
Email: [REDACTED]

Contractor Contact Information: Company Name: Braddock Electric
Contact:
Address: 806 N. Mechanic Street
City/State/Zip: Cumberland MD 21502
Phone: 3017599020
Email:

Date of Application: 11/03/2025

Work Description: (narrative box)

Place 6 Lumark TCRL15S on former Cumberland Armory, aka Windsor Castle, that will upright front of building.

Amount Paid: 30.00

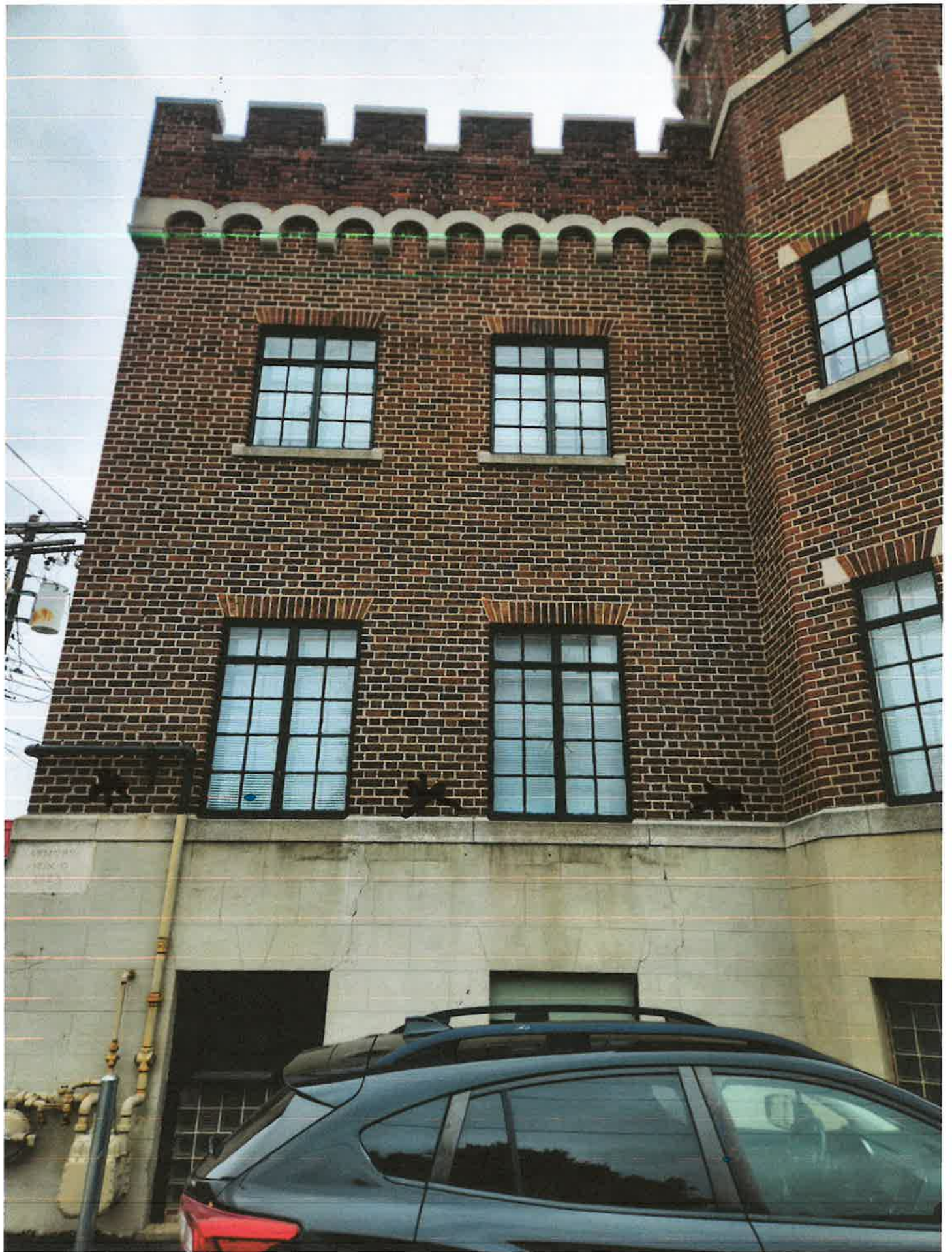
Amount Due: 0.00

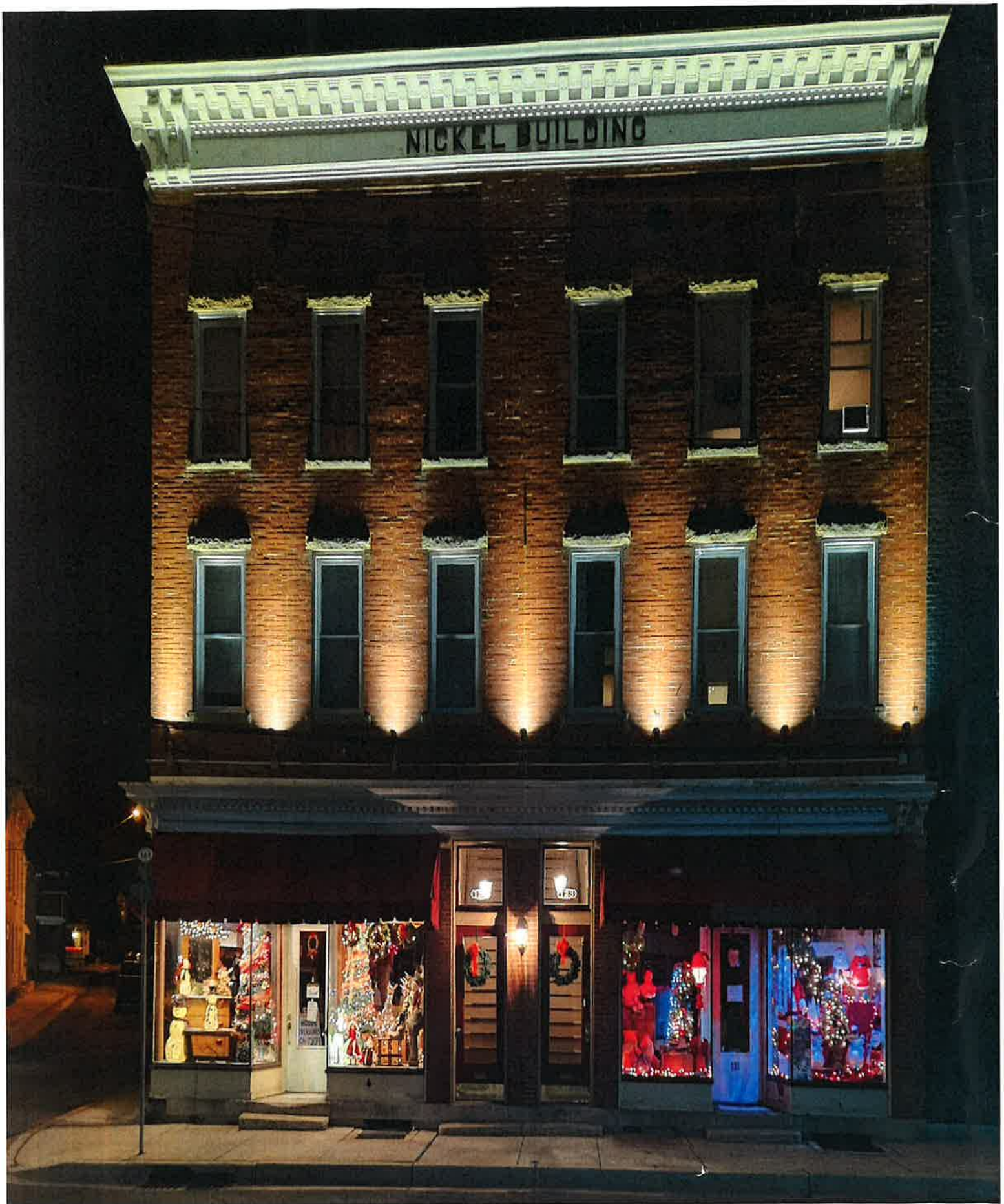
[← Back to Product](#)**Lumark****TCRL15S**

- Available in 5W - 26W (530 - 2,900 lumens) models
- Spot (20°), Medium (30°), and Wide (50°) distributions
- Energy and maintenance savings up to 94% compared to halogen
- Energy efficient illumination results in up to 138 LPW
- Standard 4000K CCT minimum 70CRI (3000K and 5000K CCT optional)
- Long-term reliability of L90 at greater than 60,000 hours
- Threaded 1/2" NPS die-cast knuckle with precise aiming



* Location of 6 lights





219-225 N. Centre St





CERTIFICATE OF APPROPRIATENESS DECISION

Certificate of Appropriateness #COA25-000050

Agenda Item: COA25-000050

Project Address: 7 N LIBERTY ST

Meeting Date: 11/04/2025

Property Number: 14003649

Issued

Amanda Smearman
16350 Laurelhurst Blvd
Rawlings, MD 21557

Dear Applicant:

The Historic Preservation Commission of the City of Cumberland on the above date, considered the application for construction at the above address as follows:

Exterior improvements are to include: Vinyl decal, 24X24 inches to be added directly to main glass of entry door

The application was:

Issued

APPROVED with the following conditions: This was approved administratively by Ruth Davis-Rogers on 11/4/25 for work to be done in the local historic district and does not constitute as an approval for all work. Please check with the Community Development Department to find out if other permits, such as a sign permit, are required. Thank you.

Sincerely,

Ruth Davis-Rogers

Cc:Planning and Zoning
COA File

NOTE: Please note that the approval listed above only constitutes the approval of the Historic Preservation Commission. You must still ensure that all other permits associated with this project, if required, have been applied for and approved by the Building and Zoning Officer.

EXPIRATION OF CERTIFICATES OF APPROPRIATENESS: This application hereby expires six months following the file date if no action is taken to start specified work. Also, the application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision.



CITY OF
CUMBERLAND
MARYLAND

DEPARTMENT OF COMMUNITY DEVELOPMENT

57 N. LIBERTY STREET, CUMBERLAND, MD 21502 • PHONE 301-759-6442 • FAX 301-759-6432 • TDD 800-735-2258

www.cumberlandmd.gov

Permit Number: COA25-000050

Approval Date: 11/04/2025

Certificate of Appropriateness Permit

Permit issued as per plans and subject to all applicable Preservations Guidelines, City Codes and regulations.

Project Location: MD Prop. #: Owner:	7 N LIBERTY ST 14003649 RAWLINGS REAL ESTATE HODINGS LLC	Date applied: Work expected to begin:	11/04/2025 11/04/2025
Applicant: Address: City/State/Zip: Phone: Email:	Sprinkles Candy Bar 7 N Liberty Street Cumberland MD 21502 (301) 759-3157 sprinklescandybar@gmail.com	Contractor: Address: City/State/Zip: Phone: Email: MD Master Plumber License #:	Sprinkles Candy Bar 7 N Liberty Street Cumberland MD 21502 (301) 759-3157 sprinklescandybar@gmail.com [Redacted]

Quantity	Description	Amount	Total Cost
1.0	Certificate of Appropriateness Review Fee	30.00	30.00
1.0	Convenience Fee	1.00	1.00

Project Description:
Vinyl decal, 24X24 inches to be added directly to main glass of entry door

APPROVED with the following conditions: This was approved administratively by Ruth Davis-Rogers on 11/4/25 for work to be done in the local historic district and does not constitute as an approval for all work. Please check with the Community Development Department to find out if other permits, such as a sign permit, are required. Thank you.

Signature / Date

STATEMENT: I hereby agree to comply with all regulations which are applicable hereto, and further agree that the proposed work shall be faithfully carried out as described on this request and as shown on the plans accompanying same, and not otherwise. This application hereby expires six months following the file date if no action is taken to start specified work. Also, this application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision. The application is active for two years.

Amanda Smearman

Signature

City of Cumberland - Dept. of Community Development

Internal Routing Sheet

Permit or Review #: **COA25-000050**

Permit or Review Type: Certificate of Appropriateness

Project Location: 7 N LIBERTY ST CUMBERLAND, MD 21502

Applicant Contact Information: Name: Sprinkles Candy Bar
Address: 7 N Liberty Street
City/State/Zip: Cumberland MD 21502
Phone: [REDACTED]
Email: [REDACTED]

Contractor Contact Information: Company Name: Sprinkles Candy Bar
Contact: Amanda Smearman
Address: 7 N Liberty Street
City/State/Zip: Cumberland MD 21502
Phone: [REDACTED]
Email: [REDACTED]

Date of Application: 11/04/2025

Work Description: (narrative box)

Vinyl decal, 24X24 inches to be added directly to main glass of entry door

Amount Paid: 31.00

Amount Due: 0.00

Scope of Work – Exterior Door Sign

Business Name: Sprinkles Candy Bar

Business Address: 7 N Liberty Street, Cumberland, MD 21502

Contact Person: Amanda Smearman, Owner

Phone: [REDACTED]

Email: [REDACTED]

Project Description

This project involves the installation of a single exterior door decal featuring the Sprinkles Candy Bar logo.

Sign Specifications

- **Type:** Vinyl decal (non-illuminated)
- **Shape:** Circle
- **Size:** 24 inches (height) x 24 inches (width)
- **Design:** Business logo centered within a circular shape
- **Background:** Transparent/clear background
- **Color:** Logo printed in full color as per brand design (see below)
- **Location:** Applied directly to the main glass entry door
- **Mounting Method:** Adhesive vinyl application to glass surface (no drilling, framing, or electrical work involved)
- **Visibility:** The sign will be visible from the exterior but will not obstruct visibility through the door.

Color Scheme Description

The Sprinkles Candy Bar logo features a bright, cheerful palette designed to reflect a fun and family-friendly candy shop aesthetic:

- **Primary Colors:**
 - Pink (#ff8fb3): Represents sweetness and fun, used as the dominant accent.
 - Mint Green (#aaf0d1): Adds a refreshing, retro candy-shop feel.
 - Soft Yellow (#fff5b1): Creates warmth and approachability.
 - **Accent Colors:**
 - Chocolate Brown (#5c4033): Used for text or outlines, representing classic candy tones.
 - White: Used as contrast and highlight within the logo elements.
 - **Background:** Clear (no solid color or frosting).
- The final logo will maintain its color integrity through UV-resistant printing for outdoor durability.

Purpose

To provide clear business identification consistent with the Sprinkles Candy Bar brand while maintaining the storefront's visibility and charm.

Installation Details

- **Installation Method:** Surface-applied vinyl decal
- **Tools/Equipment Used:** Squeegee and mild adhesive solution
- **Estimated Duration:** Less than one hour
- **Installer:** Owner (Amanda Smearman)
- **Electrical Work:** None
- **Structural Modifications:** None

Compliance

The sign will comply with all local zoning and signage ordinances, including size and placement

restrictions. It will not be illuminated or protrude beyond the door surface.



Proposed Sign Materials Description – Sprinkles Candy Bar

Business Name: Sprinkles Candy Bar

Address: 7 N Liberty Street, Cumberland, MD 21502

Contact: Amanda Smearman • [REDACTED] • sprinklescandybar@gmail.com

Sign Type

Non-illuminated vinyl decal applied to the exterior glass door surface.

Materials

- **Material:** Premium outdoor-grade adhesive vinyl
- **Finish:** Gloss
- **Thickness:** 3–4 mil (0.003–0.004 inches)
- **Durability:** Weather-resistant and UV-protected for 5+ years of outdoor exposure
- **Adhesive Type:** Removable acrylic adhesive designed for glass application
- **Installation Surface:** Exterior glass door
- **Installation Method:** Wet application using squeegee and mild adhesive solution
- **Edge Treatment:** Clean cut (no raised edges or frames)
- **Maintenance:** Wipeable with mild soap and water; no structural components or illumination

Color and Print

- **Printing Method:** Full-color digital print with UV-resistant eco-solvent ink
- **Background:** Transparent (clear)
- **Primary Colors:**
 - Pink (#ff8fb3)
 - Mint Green (#aaf0d1)
 - Soft Yellow (#fff5b1)
 - Chocolate Brown (#5c4033)
 - White (accents)
- **Topcoat/Protection:** Optional clear laminate for scratch and fade resistance

Installer

Vinyl decal to be installed by owner (Amanda Smearman) or local sign vendor using standard glass-safe adhesive methods.



EXISTING CERTIFICATE OF APPROPRIATENESS REQUEST FOR CHANGE/AMENDMENT

Request for Change Amendment (RCA) #: RCA25-000007
Certificate of Appropriateness (COA) #: COA25-000030
Property Owner: MIDSON LLC
Applicant: Edward P Mullaney *
Original Approval Date: 07/10/2025
Project Address: 12 S MECHANIC ST
Property Number: 04011953
Change/Amendment Review Date: 11/04/2025

The request for a change/amendment to the original review includes the following scope of work:
(2) additional lights on facade

The request was: Issued

This Certificate of Appropriateness was approved administratively by Ruth Davis-Rogers on 11/4/25. This approval is for exterior work to be done in the local historic district and does not constitute as an approval for all work. Please check with the Community Development Department to find out if other permits are required. Thank you.

:

Signed:

NOTE: Please note that the approval listed above only constitutes the approval of the Historic Preservation Commission. You must still ensure that all other permits associated with this project, if required, have been applied for and approved by the Building and Zoning Officer.



○ Current Lights
* Propose 2 new lights



6. Monte la luminaria en la placa de calce. Asegúrese de que los cables de alimentación de la luminaria no queden prensados entre la placa de calce y la carcasa. Apriete los (2) tornillos de montaje de la placa de calce a 9 in-lb (1 Nm).

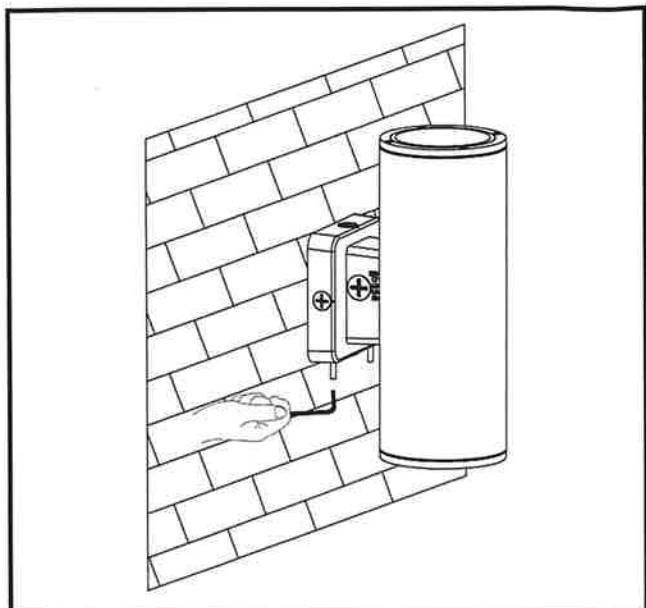


Figure 22.

7. Para ajustar la temperatura de color correlacionada (CCT) de la luminaria, desenrosque el tapón y ajuste el interruptor a la posición deseada. Para ajustar la configuración de fotocontrol (PC) de la luminaria o la configuración de CCT, desenrosque el tapón y ajuste el interruptor correspondiente a la posición deseada.

3000 K: la luminaria tiene una CCT de 3000 K.

4000 K: la luminaria tiene una CCT de 4000 K.

5000 K: la luminaria tiene una CCT de 5000 K.

ON: la opción de PC se encuentra **habilitada** y la luminaria funcionará solo de noche.

OFF: la opción de PC se encuentra desactivada y la luminaria funcionará independientemente del nivel de luz del ambiente.

Después de ajustar las posiciones del interruptor, vuelva a enroscar el tapón. Apriételo a 20 in-lb (2.2 Nm).

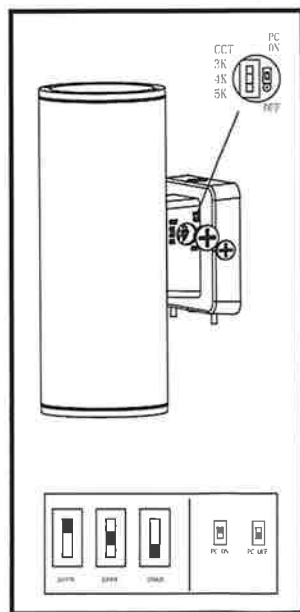


Figure 23.

8. Para ajustar la configuración del interruptor de potencia de luz de la luminaria, desenrosque el tapón y ajuste el interruptor a la posición deseada.

UP: solo luz ascendente

DN: solo luz descendente

LO: luz ascendente y descendente al 50% de potencia

HI: luz ascendente y descendente al 100% de potencia

Después de ajustar la posición del interruptor, vuelva a enroscar el tapón. Apriételo a 20 in-lb (2.2 Nm).

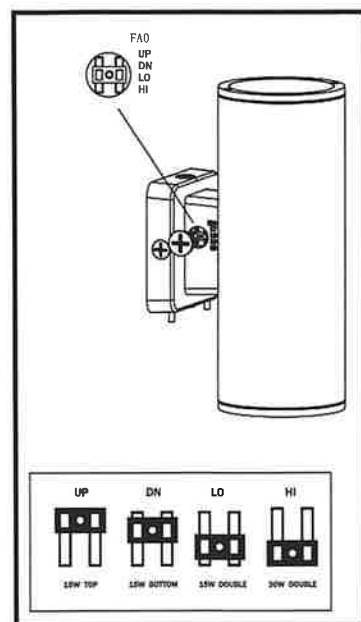


Figure 24.

City of Cumberland - Dept. of Community Development

Internal Routing Sheet

Permit or Review #: **COA25-000048**

Permit or Review Type: Certificate of Appropriateness

Project Location: 301 WASHINGTON ST CUMBERLAND, MD 21502

Applicant Contact Information: Name: Allegany Allergy and Asthma
Address: 301 Washington Street
City/State/Zip: Cumberland MD 21502
Phone: (301) 777-3300
Email: alleganyallergy_wlogsdon@allanichdun.net

Contractor Contact Information: Company Name: Allegany Allergy and Asthma
Contact: Wendy Logsdon
Address: 301 Washington Street
City/State/Zip: Cumberland MD 21502
Phone: (301) 777-3300
Email: alleganyallergy_wlogsdon@allanichdun.net

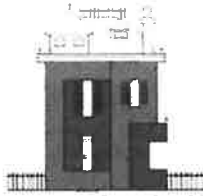
Date of Application: 10/23/2025

Work Description: (narrative box)

Window Repair

Amount Paid: 0.00

Amount Due: 30.00



CERTIFICATE OF APPROPRIATENESS DECISION

Certificate of Appropriateness #COA25-000048

Agenda Item: COA25-000048

Project Address: 301 WASHINGTON ST

Meeting Date: 10/28/2025

Property Number: 06040586

Issued

Wendy Logsdon
301 Washington Street
Cumberland, MD 21502

Dear Applicant:

The Historic Preservation Commission of the City of Cumberland on the above date, considered the application for construction at the above address as follows:

Exterior improvements are to include: Window Repair

The application was:

Issued

APPROVED with the following conditions: Replacement in Kind, Administrative Approval by Ruth Davis-Rogers on 10/28/25

Sincerely,

Ruth Davis-Rogers

Cc:Planning and Zoning
COA File

NOTE: Please note that the approval listed above only constitutes the approval of the Historic Preservation Commission. You must still ensure that all other permits associated with this project, if required, have been applied for and approved by the Building and Zoning Officer.
EXPIRATION OF CERTIFICATES OF APPROPRIATENESS: This application hereby expires six months following the file date if no action is taken to start specified work. Also, the application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision.



CITY OF CUMBERLAND MARYLAND

DEPARTMENT OF COMMUNITY DEVELOPMENT

57 N. LIBERTY STREET, CUMBERLAND, MD 21502 • PHONE 301-759-6442 • FAX 301-759-6432 • TDD 800-735-2258

www.cumberlandmd.gov

Permit Number: COA25-000048

Approval Date: 10/28/2025

Certificate of Appropriateness Permit

Permit issued as per plans and subject to all applicable Preservations Guidelines, City Codes and regulations.

Project Location:	301 WASHINGTON ST	Date applied:	10/23/2025
MD Prop. #:	06040586	Work expected to begin:	10/28/2025
Owner:	DRELICH JEREMY M-ROCHELLE F SMITH		
Applicant:	Allegany Allergy and Asthma	Contractor:	Allegany Allergy and Asthma
Address:	301 Washington Street	Address:	301 Washington Street
City/State/Zip:	Cumberland MD 21502	City/State/Zip:	Cumberland MD 21502
Phone:	[REDACTED]	Phone:	[REDACTED]
Email:	[REDACTED]	Email:	[REDACTED]
		MD Master Plumber License #:	00000

Quantity	Description	Amount	Total Cost
1.0	Certificate of Appropriateness Review Fee	30.00	30.00
1.0	Convenience Fee	1.00	1.00

Project Description:
Window Repair

Replacement in kind with wood window matching the original. Approved Administratively by Ruth Davis-Rogers, Historic Preservation Planner, on 10/28/25

Signature / Date

STATEMENT: I hereby agree to comply with all regulations which are applicable hereto, and further agree that the proposed work shall be faithfully carried out as described on this request and as shown on the plans accompanying same, and not otherwise. This application hereby expires six months following the file date if no action is taken to start specified work. Also, this application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision. The application is active for two years.

Signature

Glass Service of Cumberland, Inc.

813 LaFayette Ave.
Cumberland, MD 21502
Phone 301-724-3434 Fax 301-724-5912

TO Allegany Allergy And Asthma
301 Washington St
Cumberland, MD 21502

DATE: October 16, 2025

PROJECT : Custom Wood Sashes

Description of work to be performed: Furnish and install 4 custom made wood sashes to match originals all to be glazed with double strength glass and painted in a brown tone color to blend in to the façade of the building and installed in the openings top sashes will be stationary and the bottom sashes to be active

Lump sum price: [REDACTED]

Exclusions/Clarifications:

1. We exclude any glass breakage except by GSC personnel.
2. A 1/3 deposit will be required at time of acceptance.
3. Clean up haul away debris.
4. We exclude any rough frame work
5. We exclude any interior work

Thank you for allowing us the opportunity to work with you. If you have any questions or I may be of further assistance please advise.

TERMS OF PAYMENT ARE 30 DAYS FROM INVOICE DATE

This proposal reflects the discounted cash price./ collection fees will be added if sent to collections.

ACCEPTED:

Firm/Owner: Jeremy Drellich

GLASS SERVICE OF CUMBERLAND, INC.

By: [Signature]

By: [Signature]

Title: Owner

Title: Rich Davis

Date: 10/21/25

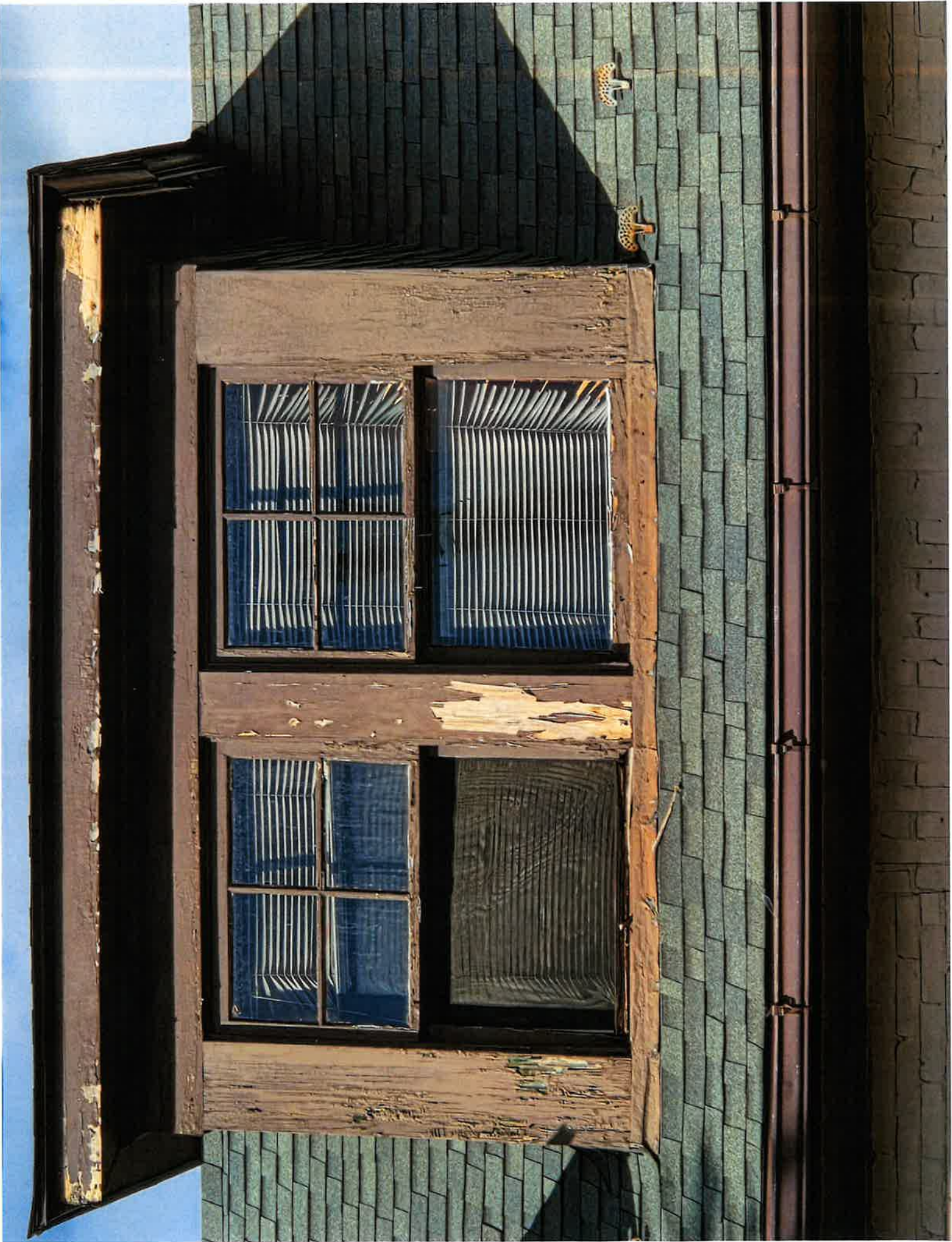
Date: Estimator

MHIC 12957

This Proposal is subject to revision or withdrawal by GSC until communication of acceptance, and may be revised after communication of acceptance where an inadvertent error by GSC has occurred. This Proposal expires thirty (30) days after the date stated above, unless Glass Service of Cumberland expressly agrees to an extension.

CANCELLATION POLICY:

If the customer chooses to cancel contract, Glass Service of Cumberland, Inc. and/or Hoyman painting, a division of Glass Service of Cumberland, Inc. Reserves the right to retain any monies applied toward this contract to cover the cost of materials ordered and/or in production that were intended for completion of this project.



City of Cumberland - Dept. of Community Development

Internal Routing Sheet

Permit or Review #: **COA25-000041**

Permit or Review Type: Certificate of Appropriateness

Project Location: 81 BALTIMORE ST CUMBERLAND, MD 21502

Applicant Contact Information: Name: Grove & Dallolio Architects PLLC
Address: 18 West Boscawen Street
City/State/Zip: Winchester VA 22601
Phone: [REDACTED]
Email: [REDACTED]

Contractor Contact Information: Company Name: Grove & Dall'Olio Architects pllc
Contact: matthew grove
Address: 18 West Boscawen Street
City/State/Zip: Winchester VA 22601
Phone: [REDACTED]
Email: [REDACTED]

Date of Application: 09/25/2025

Work Description: (narrative box)

Exterior Modifications to Ground floor storefronts, new roof decks and stair tower

Amount Paid: 0.00

~~Amount Due: 30.00~~



**Certificate of Appropriateness Application
Presentation of Information/Staff Report
By Ruth Davis - Rogers**

COA25-000041

Address: 81 Baltimore Street

Project Contact: Grove & Dall'Olio Architects/MM Timbrook

Renovations for 81 Baltimore St.

I. Background

This building is located in the Downtown Cumberland Historic District, on Baltimore Street. This District is listed on the National Register of Historic Places and, in addition to being recognized at the Federal level, is also recognized as a historic district by the State of Maryland and the City of Cumberland. Baltimore Street is the heart of Cumberland and gains its significance from both its architecture and the history of its commercial development.

II. Property Description and Condition

The Liberty Trust Bank Building is a six-story building built in 1907 with red brick and stone trim. Above the street level are four levels of 1/1 double hung sash windows arranged in single and multiple groupings with transoms above. Flat bricks and rusticated belt courses ornament the window groupings for each floor. The sixth floor is topped by a large dropped cornice, above which runs a row of oculus windows. The Centre Street corner of the building is rounded above the first level. The building's exterior facades are amazingly intact with the exception of the modifications made to the southern end of the Centre Street facade and the closing in of openings on the South facade and alley. The windows were modernized at some point in the last few decades. The interior was modified in 1949. The interior trim was almost entirely removed. The ceilings were dropped below the transoms. The floor plan was divided up into many smaller offices. Interior finishes such as vinyl wall coverings, fake wood veneer paneling were used to "modernize" the structure. The location of the bank vaults were changed. The stair configurations were altered at this time as well. All of the changes made are documented in drawings obtained by the current Owners. The granite modern facade component at the Centre Street entrance was recently damaged by Highway workers making improvements to the sidewalks and streets. Matching granite panels with the color and patterning to match have not been found.

The Architect that designed the structure was Wright Butler, a prominent American architect in Cumberland, Maryland. Born as the son of a Cumberland furniture manufacturer, Butler studied architecture at the Maryland Institute of Baltimore for three years beginning in 1888. At the Institute, Butler familiarized himself with fashionable architectural styles of the time like Richardsonian Romanesque and Queen Anne Architecture. His work is considered to be of major importance to the architectural heritage and character of Cumberland and the State of Maryland. The building highlights the rich commercial development in the early twentieth century and reflects the economic prominence of Cumberland at the turn of the century. The building is designated as an "A" contributing structure on the attached district map.

IV. Staff Evaluation & Analysis

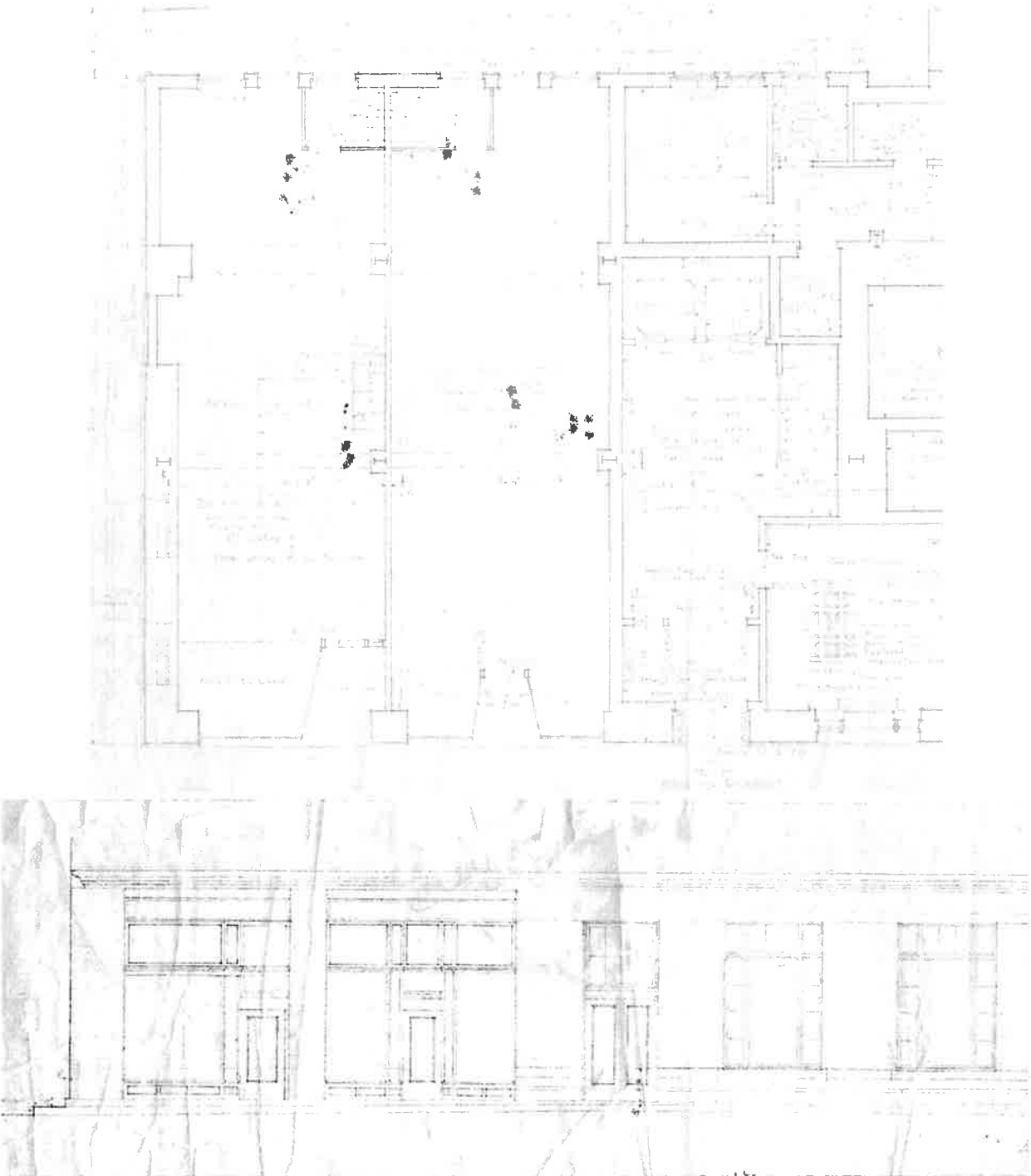
Given the research, the proposed rehabilitation appears consistent with preservation-friendly outcomes. The fact that the property is part of a state historic tax-credit program suggests that documentation and review were submitted to MHT and NPS, which reduces the risk of inappropriate interventions. The project aligns with both downtown revitalization goals and historic preservation goals. As long as the conditions of the review are followed and changes preserve the character-defining elements listed above, the adaptation should both maintain historic integrity and contribute to the economic vitality of the district.

V. Staff Recommendation

Based on the evaluation and analysis above, and the fact that this project has been approved by both MHT and NPS (thus meets City of Cumberland Historic District Guidelines), and will be monitored by MHT and NPS, staff recommends that the entirety of this project be approved.

Written scope of work for Exterior changes to 81 Baltimore Street:

In 1950 the original East façade was altered. The historic glass and frame storefront and retail spaces were removed and bricked over. A brutalist modern granite clad entry was installed. The original set of doors that allowed patrons to enter was converted to a window. The 1950 as-built drawings of the plan and façade prior to these changes are below:



The brick infill and granite overlay will be removed. A new storefront will be installed. A concrete vault was built at the north end of the building in 1950 that is 1.5' thick. This will it to be reduced to a single retail space and require back painted glass as the vault is too extensive to remove.

The original pair of doors and transom that was the main Centre Street entrance will be recreated.

The South entrance that had been bricked in will be reopened. A pair of doors and back painted transom will be installed.

The upper doors at the South elevation and their transoms will be restored except at the second floor because another concrete vault sits behind the opening.

The existing fire escape will be removed.

A new fire stair will be constructed within the one-story addition at the west alley. It will extend up to be two stories where it will then connect to an interior stair.

A roof deck will be constructed on top of this new fire stair element. Another roof deck will be constructed that the main upper roof. It will not be visible form the street. It will be accessed by a spiral stair. The stair will be located within the existing shed like structure on the roof. The roof of this structure will be raised about 4' to allow an egress door to the deck.

Code requires that one code compliant stair reach the roof. The existing non-code compliant stair will be removed and replaced with one that has compliant tread and riser sizes.

**COMPETITIVE COMMERCIAL CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

MHT Project Number (MHT office use only)

2024-154

Instructions: Fill out this form in accordance with the application instructions. This page must bear the applicant's electronic signature and must be dated. The Maryland Historical Trust's certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary materials submitted with it (such as architectural plans, drawings and specifications), this application form shall take precedence.

1. Property Name Liberty Trust Bank Building

Street 81 Baltimore Street

City Cumberland

Zip 21502

County Allegany

MHT Easement property? ☐ Yes ☐ No ☐ Unknown

Project Data

Floor area before / after rehabilitation 37,237.00 / 37277 sq ft

Use before/ after rehab Office Ground Floor Retail/Residential above

Start date (estimated) 1/1/25 Completion date (estimated) 12/31/25

☐ A Federal Part 2 Application (Description of Rehabilitation) has been certified for this project Date of certification _____

CHECK ONLY ONE OF THE FOLLOWING ADDITIONAL CREDITS, IF APPLICABLE

☐ Check if you are applying for the additional 5% credit for projects that have received an allocation for federal low-income housing tax credits (must attach Maryland Carryover Allocation Form and IRS Form 8609. See instructions.)

☐ Check if you are applying for the additional 5% LEED Gold or equivalent certification

☐ Check here if applying for the Level 1 Opportunity Zone Enhancement (5% additional credit) as described in the Application Instructions.

☐ Check here if applying for the Level 2 Opportunity Zone Enhancement (7.5% additional credit) as described in the Application Instructions

CHECK IF YOU ANTICIPATE RECEIVING ANY OF THE FOLLOWING ADDITIONAL FUNDING FOR THE PROPOSED PROJECT

☐ Insurance claim reimbursement funds ☐ Other local and/or state funding (i.e. grants or loans) Specify funding source _____

*Estimated qualified rehabilitation expenditures should not include additional state or local funding, insurance reimbursements or ineligible expenses including new construction, site work, appliances, etc.

***Estimated Qualified Rehabilitation Expenditures**

FINAL TOTAL ALLOWABLE QUALIFIED REHABILITATION EXPENDITURES CANNOT EXCEED THIS AMOUNT (Which may not be increased or amended)

\$7,500,000

3. Project Contact (if different from applicant)

Name Lisa Dall'Olio

Company Grove & Dall'Olio Architects PLLC

Street 18 West Boscawen Street

City Winchester

State VA

Zip 22601

Telephone [REDACTED]

Email Address [REDACTED]

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that the structure is not owned by the State of Maryland, a political subdivision of the State or the Federal government and that [check one box as applicable] (1) ☒ I am the fee-simple owner of the above-described property or (2) ☐ if I am not the fee-simple owner of the above-described property, the fee-simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which either is attached to this application form and incorporated herein, or has been previously submitted. I understand that intentional falsification of factual representations in this application is subject to civil penalties and imprisonment for up to 10 years pursuant to Tax General Article, §§ 13-703 and 13-1002(b), Annotated Code of Maryland.

Name Kristin Timbrook

Signature Kristin Timbrook

Digitally signed by Kristin Timbrook
Date: 2025.02.04 16:01:59 -05'00'

Date 7/29/24

Organization 81 Baltimore Street LLC

Street 81 Baltimore Street

City Cumberland

State MD

Zip 21502

Telephone [REDACTED]

Email Address [REDACTED]

MHT Official Use Only

The Maryland Historical Trust has reviewed the *Historic Revitalization Tax Credit Application – Part 2* for the above-named property and has determined that the proposed rehabilitation described herein:

☐ is consistent with the Secretary of the Interior's Standards for Rehabilitation. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.

☒ is consistent with the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.

☐ is not consistent with the Secretary of the Interior's Standards for Rehabilitation, eligibility requirements, and/or does not comply with program requirements and therefore certification is denied.

02/10/2025

Collin Ingraham
Collin Ingraham (Feb 11, 2025 09:21 EST)

Date

Maryland Historical Trust Authorized Signature

☒ MHT conditions or comments attached

Maryland Department of Planning
MARYLAND HISTORICAL TRUST
100 Community Place, Crownsville, Maryland 21032 <http://mht.maryland.gov>

CONDITIONS SHEET

Historic Revitalization Certification Application

MHT Project Number: 2024-154

Property Name and Address: Liberty Trust Bank Building, 81 Baltimore Street, Cumberland, MD 21502

The rehabilitation of this property as described in the Historic Revitalization Certification Application will meet the Secretary of the Interior's *Standards for Rehabilitation* and the requirements of §5A-303(h) of the State Finance and Procurement Article of the Annotated Code of Maryland provided that the following condition(s) is/are met:

1. **Masonry repair and repointing mortar** must match the color, texture, composition, joint width, joint profile, and other visual qualities of the historic masonry, per Standard #6. This work must be accomplished in accordance with the guidance provided in Preservation Brief #2: Repointing Mortar Joints in Historic Masonry Buildings. Removal of existing mortar must be done by hand as power tools can cause unnecessary damage to the masonry units by breaking the edges and overcutting the joints. Specifications and repointing or repair samples should be reviewed and approved by the State Historic Preservation Office before proceeding with this work. Good quality before and after photographs of the mortar joints must be submitted with the Part 3: Request for Certification of Completed Work.
2. **Historic materials and features** must be retained and repaired to the greatest extent possible, per Standard #6. Any replacement brick, stone, or other masonry must be done in-kind to match the existing in size, texture, color, materials, and other visual qualities. Replaced sections of masonry must be shown with close-up photographs submitted with the Part 3: Request for Certification of Completed Work.
3. **Replacement windows** are not approved. Replacement windows must match the appearance, size, design, proportions, and profiles of the existing windows and must have clear glazing. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relationship to the wall assembly must be submitted for review. The drawings should include measured sections of the head, jamb, sill, mullions, and various muntins. You must also include further information about the finish of the windows and the proposed glazing. You must clarify what is happening with the larger openings on the south elevation that are currently partially blocked in. It appears that these are former door openings, any new infill must fill the entire opening and appear as a door, even if it does not function as on.
4. The replacement **storefronts and entry doors** must be compatible with the historic character of the building, and this can most readily be achieved when the design, proportions, profiles and finish are consistent with those of a storefront typical of the period of the building or based on historic documentation such as drawings and photos. The glazing must be clear. Metal framing must have a baked enamel or painted finish, and wood must be painted. In order to ensure the storefront meets the Standards, detailed dimensioned drawings of the proposed replacement storefront and glazing specifications must be submitted for review. Additionally, a scope of work for repairs associated with the removal of the existing storefront and brick infill must be included as well along with products to be used.
5. The proposed **ventilation louver** seen on detail drawing 4 on Sheet A4.1 is not approved. The historic Baltimore Street entrance is a largely intact, highly visible, primary entrance on a primary façade and as such any intervention must be carefully considered. While this treatment is not approved, if you want it to be further considered, you must provide a more detailed explanation for the louver including its proposed design, material, how it will be installed, and why it is required. A section drawing for the proposed replacement 8' doors is also required showing how they will be installed within the opening.

Please note that failure to comply with any of the above conditions may result in a denial of final certification.

02/10/2025

Collin Ingraham
Collin Ingraham (Feb 11, 2025 09:21 EST)

Date

Maryland Historical Trust Authorized Signature

Maryland Department of Planning
MARYLAND HISTORICAL TRUST
100 Community Place, Crownsville, Maryland 21032 <http://mht.maryland.gov>

CONDITIONS SHEET

Historic Revitalization Certification Application

MHT Project Number: 2024-154

Property Name and Address: Liberty Trust Bank Building, 81 Baltimore Street, Cumberland, MD 21502

Please also confirm the inner double doors and transom will be treated and whether they too will be replaced with 8' doors and a more historically appropriate transom.

6. **Replacement door and windows** on the ground floor of the south façade must be compatible with the historic character of the building and remaining historic features. To ensure compliance with the Standards, additional details of the proposed replacement door and windows must be submitted for review on an Amendment form prior to installation, including their design, design justification, materials, and finish. An elevation drawing as well as section drawings showing how the new features will be installed within the opening are also required.
7. The alteration of the **roof penthouse** and new rooftop deck must not detract from the character of the building nor be visible from the primary street elevations. Final roof plans including all mechanical, electrical, and plumbing equipment as well as decking, railings, and other infrastructure must be submitted for review and approval to ensure compliance with the Standards. Photographs of a mockup or sightline studies may be required to understand the visibility of the rooftop deck.
8. There are a variety of **decorative finishes and materials** remaining on the ground floor which appear to be original or early rehabilitation work which occurred during the period of significance, such as columns, capitals, trim, terrazzo flooring, marble wainscot. As such they should be retained and incorporated into the design. To do that, a more thorough analysis and documentation of historic finishes on the ground floor is required to understand each finish, where it is located, what period it dates to, its condition, and any replacement finish proposed. A more developed finish plan for the ground floor is required as well noting all wall, floor, ceiling, and lighting treatments.
9. Retaining portions of a **dropped ceiling** between the two column lines down the center of the ground floor could be problematic, however there was not enough information provided to make a full determination therefore it is not approved. To determine the appropriateness of the work, a more detailed explanation is required to explain the requirements you are trying to accommodate, as well as a section and perspective view to understand how the dropped ceiling will visually and physically impact the significant character-defining lobby space. As the historic plaster ceiling remains intact, recessed lighting would not be appropriate as it is not a reversible treatment.
10. Any new **floor treatments** or coverings must be compatible with the age and character of this historic building. As the ground floor was historically finished, sealed concrete may not be appropriate as cracks and imperfections can impart an industrial look. The polished concrete must have a finished appearance, similar to terrazzo. To ensure compliance with the Standards details for all flooring materials must be submitted for review and approval. A test patch for the polished concrete must be submitted for review and approval to ensure it has a finished appearance. You must also submit information on the areas and amounts of terrazzo and concrete flooring.
11. It is unclear how the existing **mezzanine** space will be treated. To ensure compliance with the Standards, a scope of work and photographs for this space must be provided for review and approval prior to any work being undertaken.

Please note that failure to comply with any of the above conditions may result in a denial of final certification.

02/10/2025

Collin Ingraham
Collin Ingraham (Feb 11, 2025 09:21 EST)

Date

Maryland Historical Trust Authorized Signature

Maryland Department of Planning
MARYLAND HISTORICAL TRUST
100 Community Place, Crownsville, Maryland 21032 <http://mht.maryland.gov>

CONDITIONS SHEET

Historic Revitalization Certification Application

MHT Project Number: 2024-154

Property Name and Address: Liberty Trust Bank Building, 81 Baltimore Street, Cumberland, MD 21502

12. New **mechanical, electrical, and plumbing systems** must be installed in a manner that has minimal effect on the historic character of the building. Systems must be enclosed and set back from the windows and storefront. Enclosures should be held to a minimal size and installed tight to walls and ceilings. In order to ensure the installation of the systems meets the Standards, details of the location, size, and concealment or finish of the ductwork, utility lines, supply vents, returns, mini-split systems, rooftop units, and sprinkler pipes must be submitted for review. A reflected ceiling plan and section drawing showing dropped ceilings and/or bulkheads and how they impact windows or transoms must be included as well. Where existing mechanical, electrical, and plumbing systems, pipes and conduits are removed, existing historic walls, ceilings, and floors must be repaired to a compatible condition.
13. New **plumbing lines** installed to service residential units on the upper floors must not project down or otherwise adversely impact public or private first floor spaces below. The project team must coordinate with sub-contractors to ensure this does not occur. We recommend evaluating the installation of new systems vertically, as opposed to horizontally, by inserting vertical chases that limit travel distances of piping and other utilities.
14. Exterior **signage and lighting** must be compatible with the historic building and must not damage historic features and finishes. To ensure compliance with the Standards you must submit product specifications for proposed exterior wall mounted light fixtures and signage for review and approval.
15. This approval does not extend to work not submitted for **tenant spaces**, details of which have not been submitted for review and approval. Regulations governing this program require evaluation of the entire project. This approval may be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. Please submit for review the information regarding any additional work as soon as available to ensure conformance of the overall project with the Secretary's Standards.

Please note that failure to comply with any of the above conditions may result in a denial of final certification.

02/10/2025

Collin Ingraham
Collin Ingraham (Feb 11, 2025 09:21 EST)

Date

Maryland Historical Trust Authorized Signature

RECEIVED

By Kate Jaffe at 9:27 am, Aug 1, 2024

NPS Form 10-168a (Rev. 6/2023)
National Park Service
OMB Control No. 1024-0009**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 -- DESCRIPTION OF REHABILITATION**

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
48320**1. Historic Property Name** Liberty Trust Bank BuildingStreet 81 Baltimore StreetCity Cumberland County Allegany State MD Zip 21502Name of Historic District or National Register property Downtown Cumberland Historic District

- ☐ Listed individually in the National Register of Historic Places; date of listing _____
- ☒ Located in a Registered Historic District; name of district Downtown Cumberland Historic District
- ☒ Part 1 - Evaluation of Significance submitted? Date submitted 7/8/2024 Date of certification _____

2. Project Data (for phased projects, data entered in this section must be totals for entire project)

Date of building 1907 Estimated total rehabilitation costs (QRE) \$7,500,000

Number of buildings in project 1 Floor area before / after rehabilitation 37,237 / 37,277 sqft

Start date (estimated) 01/01/2025 Use(s) before / after rehabilitation office/bank / retail/res

Completion date (estimated) 12/31/2025 Number of housing units before / after rehabilitation 0 / 19

Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 0 / 0

☐ Intend to apply the IRS 60-month measuring period for the purposes of substantial rehabilitation

3. Project Contact (if different from applicant)

Name Lisa Dallolio Company Grove & Dallolio Architects PLLC

Street 18 West Boscawen Street City Winchester State VA

Zip 22601 Telephone _____ Email Address _____

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that (check one or both boxes, as applicable):

- ☒ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
- ☐ If I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Kristin Timbrook Signature Kristin Timbrook Date 07/29/2024

Applicant Entity 81 Baltimore Street LLC SSN _____ or TIN 88-3001430

Street 81 Baltimore Street City Cumberland State MD

Zip 21502 Telephone _____ Email Address _____

☐ Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 2 for the above-named property and has determined that:

- ☐ the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
- ☒ the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
- ☐ the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

ELIZABETH PETRELLA Digitally signed by ELIZABETH PETRELLA
Date: 2024.10.03 17:21:21 -04'00'

Date _____ National Park Service Authorized Signature

☒ NPS conditions or comments attached



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name Liberty Trust Building Project Number 48320
Property Address, City, State 81 Baltimore Street, Cumberland, MD

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. **Masonry repair and repointing mortar** must match the color, texture, composition, joint width, joint profile, and other visual qualities of the historic masonry, per Standard #6. This work must be accomplished in accordance with the guidance provided in Preservation Brief #2: Repointing Mortar Joints in Historic Masonry Buildings. Removal of existing mortar must be done by hand as power tools can cause unnecessary damage to the masonry units by breaking the edges and overcutting the joints. Specifications and repointing or repair samples should be reviewed and approved by the State Historic Preservation Office before proceeding with this work. Good quality before and after photographs of the mortar joints must be submitted with the Part 3: Request for Certification of Completed Work.
2. **Historic materials and features** must be retained and repaired to the greatest extent possible, per Standard #6. Any replacement brick, stone, or other masonry must be done in-kind to match the existing in size, texture, color, materials, and other visual qualities. Replaced sections of masonry must be shown with close-up photographs submitted with the Part 3: Request for Certification of Completed Work.
3. **Replacement windows** are not approved. Replacement windows must match the appearance, size, design, proportions, and profiles of the existing windows and must have clear glazing. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relationship to the wall assembly must be submitted for review. The drawings should include measured sections of the head, jamb, sill, mullions, and various muntins. You must also include further information about the finish of the windows and the proposed glazing. You must clarify what is happening with the larger openings on the south elevation that are currently partially blocked in. It appears that these are former door openings, any new infill must fill the entire opening and appear as a door, even if it does not function as on.
4. The replacement **storefronts and entry doors** must be compatible with the historic character of the building, and this can most readily be achieved when the design, proportions, profiles and finish are consistent with those of a storefront typical of the period of the building or based on historic documentation such as drawings and photos. The glazing must be clear. Metal framing must have a baked enamel or painted finish and wood must be painted. In order to ensure the storefront meets the *Standards*, detailed dimensioned drawings of the proposed replacement storefront and glazing specifications must be submitted for review. Additionally, a scope of work for repairs associated with the removal of the existing storefront and brick infill must be included as well along with products to be used.
5. The proposed **ventilation louver** seen on detail drawing 4 on Sheet A4.1 is not approved. The historic Baltimore Street entrance is a largely intact, highly visible, primary entrance on a primary façade and as such any intervention must be carefully considered. While this treatment is not approved, if you want it to be further considered, you must provide a more detailed explanation for the louver including its proposed design, material, how it will be installed, and why it is required. A section drawing for the proposed replacement 8'



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

doors is also required showing how they will be installed within the opening. Please also confirm the inner double doors and transom will be treated and whether they too will be replaced with 8' doors and a more historically appropriate transom.

6. **Replacement door and windows** on the ground floor of the south façade must be compatible with the historic character of the building and remaining historic features. To ensure compliance with the Standards, additional details of the proposed replacement door and windows must be submitted for review on an Amendment form prior to installation, including their design, design justification, materials, and finish. An elevation drawing as well as section drawings showing how the new features will be installed within the opening are also required.
7. The alteration of the **roof penthouse** and new rooftop deck must not detract from the character of the building nor be visible from the primary street elevations. Final roof plans including all mechanical, electrical, and plumbing equipment as well as decking, railings, and other infrastructure must be submitted for review and approval to ensure compliance with the Standards. Photographs of a mockup or sightline studies may be required to understand the visibility of the rooftop deck.
8. There are a variety of **decorative finishes and materials** remaining on the ground floor which appear to be original or early rehabilitation work which occurred during the period of significance, such as columns, capitals, trim, terrazzo flooring, marble wainscot. As such they should be retained and incorporated into the design. To do that, a more thorough analysis and documentation of historic finishes on the ground floor is required to understand each finish, where it is located, what period it dates to, its condition, and any replacement finish proposed. A more developed finish plan for the ground floor is required as well noting all wall, floor, ceiling, and lighting treatments.
9. Retaining portions of a **dropped ceiling** between the two column lines down the center of the ground floor could be problematic, however there was not enough information provided to make a full determination therefor it is not approved. To determine the appropriateness of the work, a more detailed explanation is required to explain the requirements you are trying to accommodate, as well as a section and perspective view to understand how the dropped ceiling will visually and physically impact the significant character-defining lobby space. As the historic plaster ceiling remains intact, recessed lighting would not be appropriate as it is not a reversible treatment.
10. Any new **floor treatments** or coverings must be compatible with the age and character of this historic building. As the ground floor was historically finished, sealed concrete may not be appropriate as cracks and imperfections can impart an industrial look. The polished concrete must have a finished appearance, similar to terrazzo. To ensure compliance with the Standards details for all flooring materials must be submitted for review and approval. A test patch for the polished concrete must be submitted for review and approval to ensure it has a finished appearance. You must also submit information on the areas and amounts of terrazzo and concrete flooring.
11. It is unclear how the existing **mezzanine** space will be treated. To ensure compliance with the Standards, a scope of work and photographs for this space must be provided for review and approval prior to any work being undertaken.
12. New **mechanical, electrical, and plumbing systems** must be installed in a manner that has minimal effect on the historic character of the building. Systems must be enclosed and set back from the windows and



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

storefront. Enclosures should be held to a minimal size and installed tight to walls and ceilings. In order to ensure the installation of the systems meets the Standards, details of the location, size, and concealment or finish of the ductwork, utility lines, supply vents, returns, mini-split systems, rooftop units, and sprinkler pipes must be submitted for review. A reflected ceiling plan and section drawing showing dropped ceilings and/or bulkheads and how they impact windows or transoms must be included as well. Where existing mechanical, electrical, and plumbing systems, pipes and conduits are removed, existing historic walls, ceilings, and floors must be repaired to a compatible condition.

13. New **plumbing lines** installed to service residential units on the upper floors must not project down or otherwise adversely impact public or private first floor spaces below. The project team must coordinate with sub-contractors to ensure this does not occur. We recommend evaluating the installation of new systems vertically, as opposed to horizontally, by inserting vertical chases that limit travel distances of piping and other utilities.
14. Exterior **signage and lighting** must be compatible with the historic building and must not damage historic features and finishes. To ensure compliance with the Standards you must submit product specifications for proposed exterior wall mounted light fixtures and signage for review and approval.
15. This approval does not extend to work not submitted for **tenant spaces**, details of which have not been submitted for review and approval to the State Historic Preservation Office and this office. Federal regulations governing this program require evaluation of the entire project. This approval may be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. Please submit for review the information regarding any additional work as soon as available to ensure conformance of the overall project with the Secretary's Standards.

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

ELIZABETH PETRELLA Digitally signed by ELIZABETH PETRELLA
Date: 2024.10.03 17:21:44 -04'00'

Date

National Park Service Signature



GSA Project Number
23245

Drawing Number
A4.1

Checked By
WVG

Drawn By
WVG

Date Rec'd
8/12/2015

Scale
3/16" = 1'-0"

Title
East Elevation

Project
81 Baltimore Street LLC

Location
Cumberland, Maryland

Architect
CDi

Engineer
El-Damron

Structural Engineer
El-Damron

Professional Engineer
El-Damron

Professional Engineer
El-Damron

Professional Engineer
El-Damron

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Professional Engineer
El-Damron

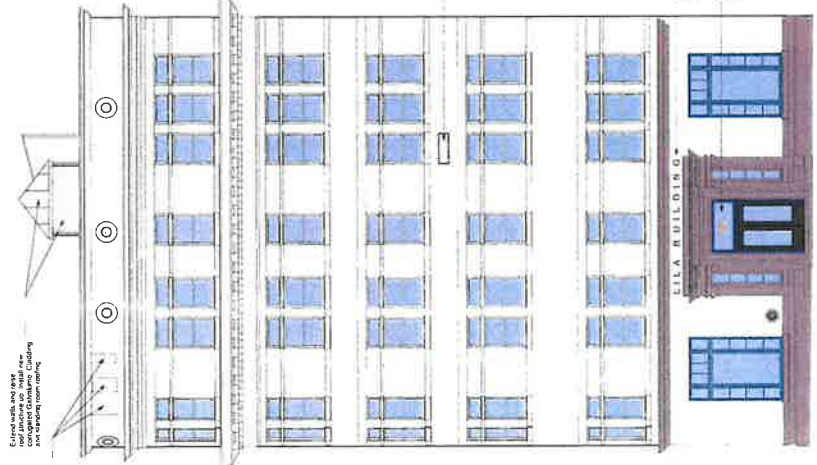
Professional Engineer
El-Damron

Professional Engineer
El-Damron

Professional Engineer
El-Damron

1. Make (Engineer to make - correct from design during construction)

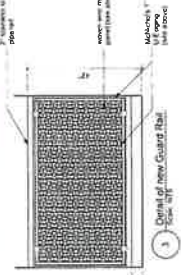
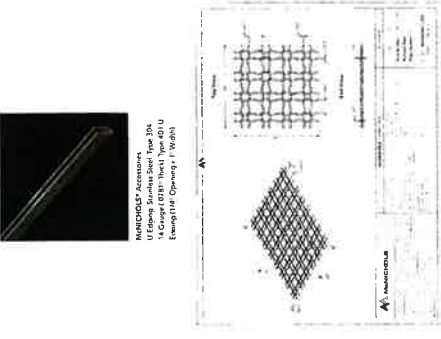
Exterior walls and roof new - correct from design during construction



1 North Elevation
Scale: 1/8" = 1'-0"



2 Rear (South) Elevation
Scale: 1/8" = 1'-0"

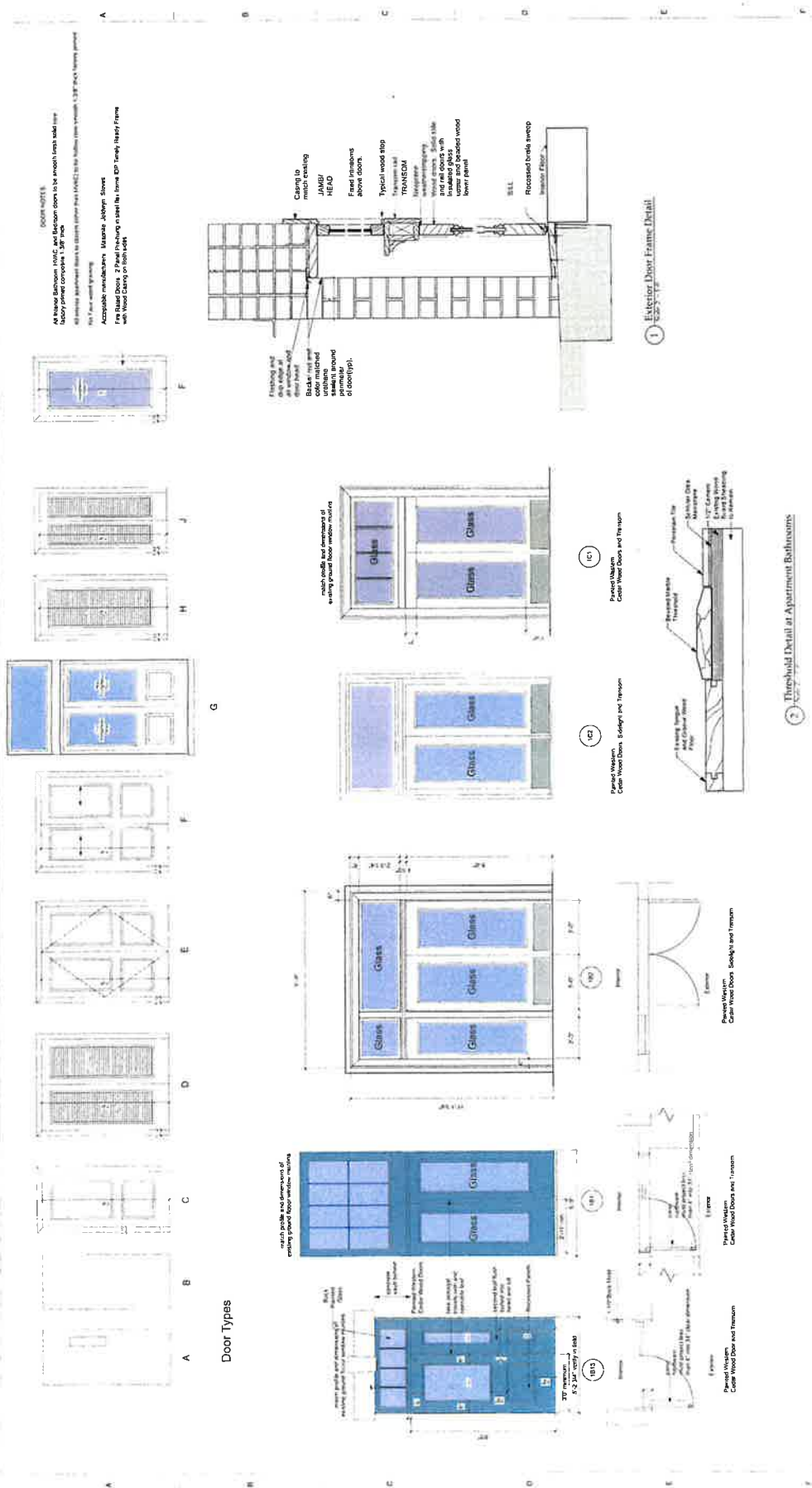


3 Detail of New Guard Rail
Scale: 1/8" = 1'-0"

81 Baltimore Street LLC

Cumberland, Maryland

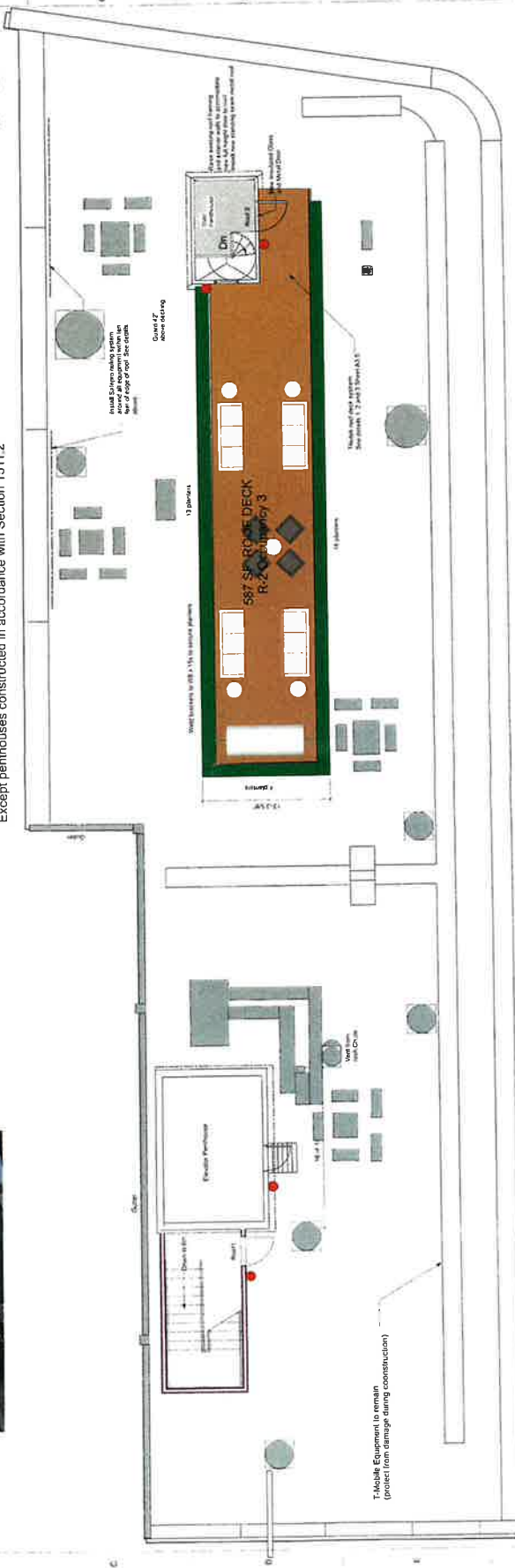
KEY PLAN 		STRUCTURAL ENGINEER 		ARCHITECT 	
CDi Engineering & Consulting, Inc. 10000 Lee Highway, Suite 200 Fairfax, VA 22033 541.465.2446		EL DARRON ENGINEERING & CONSULTING, LLC 10000 Lee Highway, Suite 200 Fairfax, VA 22033 541.465.2446		GDA LLC 10000 Lee Highway, Suite 200 Fairfax, VA 22033 541.465.2446	
PROJECT NUMBER 23245		DRAWING NUMBER A4.2		DRAWING TITLE North and South Exterior Elevations	
DATE 9/12/2025		SCALE 1/8" = 1'-0"		CHECKED BY NMC	





۲

Elements or structures enclosing the occupied roof areas shall not extend more than 48" above the occupied roof. Except penthouses constructed in accordance with Section 1511.2



81 Baltimore Street LLC

Cumberland, Maryland

Drawing Title	Roof Construction Floor Plan		Drawing Number	23245	GDA Project Number
Scale	Date Issued	Drawn by	Checked by	A3.9	

[illegible]

7/11

... even though

Figure 1



GDPA Project Number
23245
Drawing Number
A3.9



MEP ENGINEER
CDi
 Consulting Engineers Inc.
 10000 Lee Highway, Suite 100
 Fairfax, VA 22031
 Tel: 703-261-1400

STRUCTURAL ENGINEER
EL DAMRON
 Damron Engineering & Consulting Inc.
 10000 Lee Highway, Suite 100
 Fairfax, VA 22031
 Tel: 703-261-1400

ARCHITECT
GDA
 GDA Project Number
 23245

MEP ENGINEER
CDi
 Consulting Engineers Inc.
 10000 Lee Highway, Suite 100
 Fairfax, VA 22031
 Tel: 703-261-1400

STRUCTURAL ENGINEER
EL DAMRON
 Damron Engineering & Consulting Inc.
 10000 Lee Highway, Suite 100
 Fairfax, VA 22031
 Tel: 703-261-1400

ARCHITECT
GDA
 GDA Project Number
 23245

81 Baltimore Street LLC

Cumberland, Maryland

West Exterior Elevation

Project Number
23245

Drawing Number
A4.3

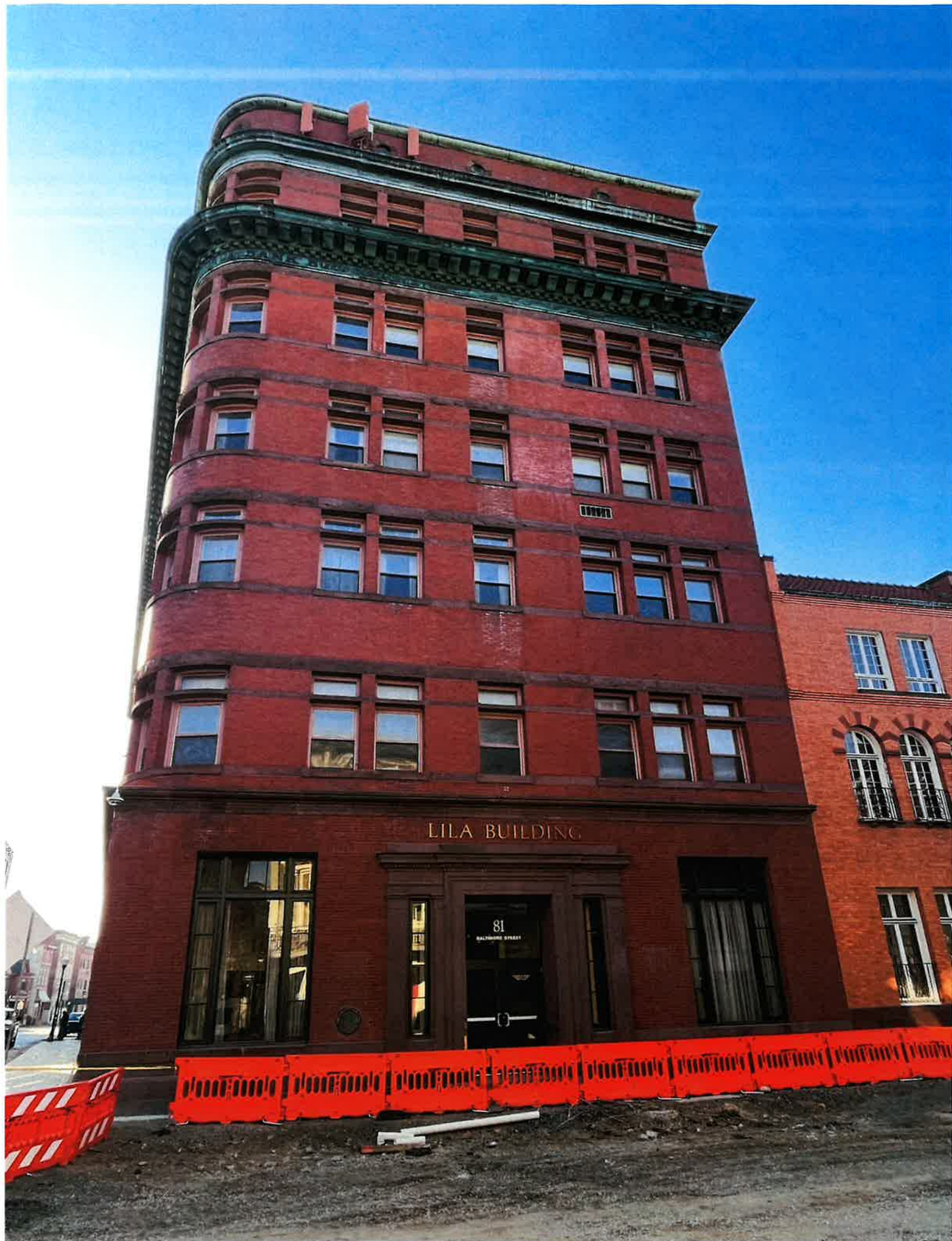
Scale
1/8" = 1'-0"

Date Plotted
9/12/2025

Drawn By
NAD

Checked By
HMG





LILA BUILDING

81

BALTIMORE STREET







City of Cumberland - Dept. of Community Development

Internal Routing Sheet

Permit or Review #: **COA25-000045**

Permit or Review Type: Certificate of Appropriateness

Project Location: 71 BALTIMORE ST CUMBERLAND, MD 21502

Applicant Contact Information: Name: Grove & Dall'Olio Architects pllc
Address: 18 West Boscawen Street
City/State/Zip: Winchester VA 22601
Phone: [REDACTED]
Email: [REDACTED]

Contractor Contact Information: Company Name: Grove & Dall'Olio Architects pllc
Contact: matthew grove
Address: 18 West Boscawen Street
City/State/Zip: Winchester VA 22601
Phone: [REDACTED]
Email: [REDACTED]

Date of Application: 10/07/2025

Work Description: (narrative box)

Renovation of former bank building into a restaurant and office suites.

Amount Paid: 30.00

Amount Due: 0.00

Scope of Work 71 Baltimore Street

The majority of the exterior is in good condition due to the fact the previous owners kept the building in good repair.

Most of the work proposed will be to repair and maintain, not to replace. The majority of the windows will be repaired, a few will be replaced on the rear of the building with architecturally compatible windows.

A wheelchair ramp is proposed for ADA accessibility on the Liberty street side.

Baltimore Street aluminum doors and Liberty Street doors will be replaced with doors and hardware that meet accessibility requirements. New doors will reflect the style and material of the original doors. All replacement materials/doors will be approved by MHT/NPS.

This project is receiving State and Federal Tax Credits. All proposed work has been approved by the Maryland Historical Trust and The National Park Service.



**Certificate of Appropriateness Application
Presentation of Information/Staff Report
By Ruth Davis - Rogers**

COA25-000045

Address: 71 Baltimore Street

Project Contact: Grove & Dall'Olio Architects/MM Timbrook

Renovations for 81 Baltimore St.

I. Background

This building is located in the Downtown Cumberland Historic District, on Baltimore Street. This District is listed on the National Register of Historic Places and, in addition to being recognized at the Federal level, is also recognized as a historic district by the State of Maryland and the City of Cumberland. Baltimore Street is the heart of Cumberland and gains its significance from both its architecture and the history of its commercial development.

II. Property Description and Condition

This building was designed in the late 1880s, is located on the corner of Baltimore and Liberty Streets. Additions and changes were made along the building's east side on Baltimore and north side along Liberty through the 1980s. Stylistically, the original bank represents a mixture of Romanesque and Byzantine influences. Built of orange colored brick with brownstone trim, it is two and one half stories tall with a gabled tile roof. The Baltimore Street facade has a Romanesque doorway to the east and a semicircular bay, also with a tile roof, to the west. Particularly outstanding are the brownstone cornice above the entrance, which is carved in a floral design, and the seated brownstone lions on each of the pilasters. A brick panel surrounded by carved brick, also in a floral pattern, appears at the second story of the gable facade. The additions along Baltimore Street feature a two and three bay sequence of windows with jack arches on the first floor and Roman arches on the second. This addition ties in nicely with the original building with brick corbel lines and base articulation continuing across horizontally. A third floor was later added and appears to match an addition on Liberty Street which features a square headed opening and metal windows. It is possible some of this work was completed by the original firm. The Liberty Street additions include a two-story facade with a Roman arched entry and window configuration. A six bay window array above has unarticulated (steel lintel) headers and metal windows. The last two additions occur on the corner of Liberty and Pershing alley and are three stories tall. These additions employ a different brick and make use of decorative brick bands and water table. Thru-wall HVAC units are expressed below some of the windows.

Bruce Price, born in Cumberland in 1845, is best known for the Chateau Frontenac in Quebec. He studied architecture in Baltimore and Europe, and after short tenures in both Baltimore and Wilkes-Barre, Pennsylvania, he established a practice in New York City in 1877. In the late 1880s, Price designed the Second National Bank, one of the most architecturally significant buildings located in the district. His work is considered to be of major importance to the architectural heritage and character of Cumberland and the State of Maryland. The building highlights the rich commercial development in the early twentieth century and reflects the economic prominence of Cumberland at the turn of the century. The building retains nearly all of its original architectural detail including period wood and metal windows, masterful brickwork, carved brownstone, clay tile roofing, and ornate metalwork.

The first floor interior of the oldest parts of the building features a mid-century modern interior with premium grade woodwork, terrazzo floors and custom millwork related to banking operations.

IV. Staff Evaluation & Analysis

Given the research, the proposed rehabilitation appears consistent with preservation-friendly outcomes. The fact that the property is part of a state historic tax-credit program suggests that documentation and review were submitted to MHT and NPS, which reduces the risk of inappropriate interventions. The project aligns with both downtown revitalization goals and historic preservation goals. As long as the conditions of the review are followed and changes preserve the character-defining elements listed above, the adaptation should both maintain historic integrity and contribute to the economic vitality of the district.

V. Staff Recommendation

Based on the evaluation and analysis above, and the fact that this project has been approved by both MHT and NPS (thus meets City of Cumberland Historic District Guidelines), and will be monitored by MHT and NPS, staff recommends that the entirety of this project be approved.

RECEIVED

By Kate Jaffe at 9:01 am, Aug 29, 2024



Maryland Historical Trust
Historic Revitalization Tax Credit
COMPETITIVE COMMERCIAL CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Revised 8/1/2023

MHT Project Number (MHT office use only)

2024-153

Instructions: Fill out this form in accordance with the application instructions. This page must bear the applicant's electronic signature and must be dated. The Maryland Historical Trust's certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary materials submitted with it (such as architectural plans, drawings and specifications), this application form shall take precedence.

1. Property Name Second National BankStreet 71 Baltimore StreetCity CumberlandZip 21502County AlleganyMHT Easement property? ☐ Yes ☒ No ☐ Unknown**Project Data**Floor area before / after rehabilitation 29,504.00 / 29,504.00 sq ftUse before/ after rehab Office1st Floor Restaurant & Office/Office aboveStart date (estimated) 1/1/25Completion date (estimated) 12/31/25☐ A Federal Part 2 Application (Description of Rehabilitation) has been certified for this project Date of certification _____**CHECK ONE OF THE FOLLOWING ADDITIONAL CREDITS, IF APPLICABLE**☐ Check if you are applying for the additional 5% credit for projects that have received an allocation for federal low-income housing tax credits (must attach Maryland Carryover Allocation Form and IRS Form 8609. See instructions.)☐ Check if you are applying for the additional 5% LEED Gold or equivalent certification☐ Check here if applying for the Level 1 Opportunity Zone Enhancement (5% additional credit) as described in the Application Instructions.☐ Check here if applying for the Level 2 Opportunity Zone Enhancement (7.5% additional credit) as described in the Application Instructions**CHECK IF YOU ANTICIPATE RECEIVING ANY OF THE FOLLOWING ADDITIONAL FUNDING FOR THE PROPOSED PROJECT**☐ Insurance claim reimbursement funds ☐ Other local and/or state funding (i.e. grants or loans) Specify funding source _____

*Estimated qualified rehabilitation expenditures should not include additional state or local funding, insurance reimbursements or ineligible expenses including new construction, site work, appliances, etc.

***Estimated Qualified Rehabilitation Expenditures**
FINAL TOTAL ALLOWABLE QUALIFIED REHABILITATION
EXPENDITURES CANNOT EXCEED THIS AMOUNT
(Which may not be increased or amended)

6,500,000

3. Project Contact (if different from applicant)Name Lisa Dall'OlioCompany Grove & Dall'Olio Architects PLLCStreet 18 West Boscawen StreetCity WinchesterState VAZip 22601Telephone 540-773-2328

Email Address _____

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that the structure is not owned by the State of Maryland, a political subdivision of the State or the Federal government and that [check one box as applicable] (1) ☒ I am the fee-simple owner of the above-described property or (2) ☐ if I am not the fee-simple owner of the above-described property, the fee-simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which either is attached to this application form and incorporated herein, or has been previously submitted. I understand that intentional falsification of factual representations in this application is subject to civil penalties and imprisonment for up to 10 years pursuant to Tax General Article, §§ 13-703 and 13-1002(b), Annotated Code of Maryland.

Name Kristin Timbrook

Signature _____

Date 6/28/24Organization 71 Baltimore Street LLCStreet 71 Baltimore StreetCity CumberlandState MDZip 21502Telephone 301-697-1173

Email Address _____

MHT Official Use Only

The Maryland Historical Trust has reviewed the *Historic Revitalization Tax Credit Application – Part 2* for the above-named property and has determined that the proposed rehabilitation described herein:

☐ is consistent with the Secretary of the Interior's Standards for Rehabilitation. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.☐ is consistent with the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met. A final certification can be issued only after the rehabilitation work is completed as herein described and a Part 3 Application is submitted and approved.☐ is not consistent with the Secretary of the Interior's Standards for Rehabilitation, eligibility requirements, and/or does not comply with program requirements and therefore certification is denied.

02/10/2025

Collin Ingraham
Collin Ingraham (Feb 11, 2025 09:21 EST)

Date

Maryland Historical Trust Authorized Signature

☒ MHT conditions or comments attached

Maryland Department of Planning
MARYLAND HISTORICAL TRUST
100 Community Place, Crownsville, Maryland 21032 <http://mht.maryland.gov>

CONDITIONS SHEET

Historic Revitalization Certification Application

MHT Project Number: 2024-153

Property Name and Address: Second National Bank Building, 71 Baltimore Street, Cumberland, MD 21502

The rehabilitation of this property as described in the Historic Revitalization Certification Application will meet the Secretary of the Interior's *Standards for Rehabilitation* and the requirements of §5A-303(h) of the State Finance and Procurement Article of the Annotated Code of Maryland provided that the following condition(s) is/are met:

1. **Masonry repair and repointing mortar** must match the color, texture, composition, joint width, joint profile, and other visual qualities of the historic masonry, per Standard #6. This work must be accomplished in accordance with the guidance provided in Preservation Brief #2: Repointing Mortar Joints in Historic Masonry Buildings. Removal of existing mortar must be done by hand as power tools can cause unnecessary damage to the masonry units by breaking the edges and overcutting the joints. Specifications and repointing or repair samples should be reviewed and approved by the State Historic Preservation Office before proceeding with this work. Good quality before and after photographs of the mortar joints must be submitted with the Part 3: Request for Certification of Completed Work.
2. **Historic materials and features** must be retained and repaired to the greatest extent possible, per Standard #6. Any replacement brick, stone, or other masonry must be done in-kind to match the existing in size, texture, color, materials, and other visual qualities. Replaced sections of masonry must be shown with close-up photographs submitted with the Part 3: Request for Certification of Completed Work.
3. The replacement **storefronts and entry doors** must be compatible with the historic character of the building, and this can most readily be achieved when the design, proportions, profiles and finish are consistent with those of a storefront and entry typical of the period of the building or based on historic documentation such as drawings and photos. The glazing must be clear. Metal framing must have a baked enamel or painted finish, and wood must be painted. In order to ensure the storefront meets the *Standards*, detailed dimensioned drawings of the proposed replacement storefront infill and doors/entries and glazing specifications must be submitted for review.
4. The new **ADA ramp** must be compatible with the historic character of the building. Its design and materials must not negatively affect the building or damage any historic fabric. To ensure the new ramp and its materials are compatible and complies with the *Standards*, you must submit dimensioned construction drawings of the ramp and railing/balustrade design as well as product information for all materials.
5. Any new **floor treatments** or coverings must be compatible with the age and character of this historic building. Historic terrazzo must remain where it exists, and if historic flooring materials are uncovered when non historic floor coverings are removed, their condition must be documented and historic flooring must remain visible. If historic flooring is deteriorated beyond repair that condition must be documented and it should be replaced to match. It is unclear what flooring treatments are proposed for the first floor and upper floors and what historic flooring may exist covered and uncovered. To ensure compliance with the *Standards* details for all existing historic flooring (covered and uncovered) and proposed new flooring materials must be submitted for review and approval.
6. New **mechanical, electrical, and plumbing** systems must be installed in a manner that has minimal effect on the historic character of the building. Systems must be enclosed and set back from the windows and storefront. Enclosures should be held

Please note that failure to comply with any of the above conditions may result in a denial of final certification.

02/10/2025

Collin Ingraham
Collin Ingraham (Feb 11, 2025 09:21 EST)

Date

Maryland Historical Trust Authorized Signature

Maryland Department of Planning
MARYLAND HISTORICAL TRUST
100 Community Place, Crownsville, Maryland 21032 <http://mht.maryland.gov>

CONDITIONS SHEET

Historic Revitalization Certification Application

MHT Project Number: 2024-153

Property Name and Address: Second National Bank Building, 71 Baltimore Street, Cumberland, MD 21502

to a minimal size and installed tight to walls and ceilings. In order to ensure the installation of the systems meets the Standards, details of the location, size, and concealment or finish of the ductwork, utility lines, supply vents, returns, mini-split systems, rooftop units, and sprinkler pipes must be submitted for review. A reflected ceiling plan and section drawing showing dropped ceilings and/or bulkheads and how they impact windows or transoms must be included as well. Where existing mechanical, electrical, and plumbing systems, pipes and conduits are removed, existing historic walls, ceilings, and floors must be repaired to a compatible condition.

7. Exterior **signage and lighting** must be compatible with the historic building and must not damage historic features and finishes. To ensure compliance with the Standards you must submit product specifications for proposed exterior wall mounted light fixtures and signage for review and approval.
8. This approval does not extend to work not submitted for **tenant spaces**, details of which have not been submitted for review and approval. Regulations governing this program require evaluation of the entire project. This approval may be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. Please submit for review the information regarding any additional work as soon as available to ensure conformance of the overall project with the Secretary's Standards.

Please note that failure to comply with any of the above conditions may result in a denial of final certification.

02/10/2025

Collin Ingraham
Collin Ingraham (Feb 11, 2025 09:21 EST)

Date

Maryland Historical Trust Authorized Signature



HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number

1. Historic Property Name Second National Bank

Street 71 Baltimore Street

City Cumberland County Allegheny State MD Zip 21502

Name of Historic District or National Register property Downtown Cumberland Historic District

☐ Listed individually in the National Register of Historic Places; date of listing _____

☒ Located in a Registered Historic District; name of district Downtown Cumberland Historic District

☒ Part 1 – Evaluation of Significance submitted? Date submitted May 30, 2024 Date of certification _____

2. Project Data (for phased projects, data entered in this section must be totals for entire project)

Date of building 1893 Estimated total rehabilitation costs (QRE) \$6,500,000

Number of buildings in project 1 Floor area before / after rehabilitation 29,504 / 29,504 sq ft

Start date (estimated) 01/01/2025 Use(s) before / after rehabilitation Office / Rest/office

Completion date (estimated) 12/31/2025 Number of housing units before / after rehabilitation 0 / 0

Application includes phase(s) _____ of _____ phases Number of low-moderate income housing units before / after rehabilitation 0 / 0

☐ Intend to apply the IRS 60-month measuring period for the purposes of substantial rehabilitation

3. Project Contact (if different from applicant)

Name Lisa Dallolio Company Grove & Dall'Olio Architects pllc

Street 18 West Boscawen Street City Winchester State VA

Zip 22601 Telephone (540) 773-2328

Email Address _____

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

☒ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or

☐ if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Kristin Timbrook

Signature _____

Date 07-22-24

Applicant Entity 71 Baltimore Street LLC

SSN _____

or TIN 93-2728051

Street 71 Baltimore Street

City Cumberland

State MD

Zip 21502

Telephone (301) 697-1173

Email Address _____

☐ Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

☐ the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.

☐ the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.

☐ the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date

National Park Service Authorized Signature

☐ NPS conditions or comments attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name Second National Bank

NPS Project Number _____

Property Address 71 Baltimore Street, Cumberland, MD

5. Detailed Description of Rehabilitation Work. Use this page to describe all work or create a comparable format with this information.
Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number 1	Feature Brick	Date of Feature Original to Bldg/Addns
-----------------	----------------------	---

Describe existing feature and its condition

The majority of the exterior brick work is in good condition. Previous bank owner kept good care of the exterior of the building. There are small areas where mortar has eroded. Some build-up of soot and dirt appear on some areas of the brick surfaces. Parapet caps at the roof level are in fair condition though the joints between them have eroded (R8, R10, R12). The Baltimore Street facade is made up of three sections. From left to right there is a three storey 3-3-2 bay composition, a two storey 2-2 bay and the original Romanesque structure on the corner of Baltimore and Liberty. These additions closely match the massing of the two former structures on the site and could have been refaced. Brick closely matching that of the original was secured for the additions on both Baltimore and Liberty Streets.

Photo Numbers E1-E10, R3-R7, R8, R10, R12

Drawing Numbers A3.1 Exterior Elevations

Describe work to feature

Proposed: Small areas of brick wall will need to be repointed. The mortar will match the color, consistency and strength of the original and the joints will be struck at the same depth and profile. A photograph of a small area will be provided as a sample for review and approval. If any bricks are found to be damaged or missing, they will be replaced with bricks that match the color, texture, size, strength and sheen. Spot cleaning the brick in certain areas may be called for using mild detergents, low pressure water sprayers and brushes. Concrete parapet caps should be reset with new mortar and sealed.

Number 2	Feature Stone	Date of Feature Original to Bldg
-----------------	----------------------	---

Describe existing feature and its condition

The building features a rich mix of original decorative brownstone banding, Roman arches, keystones, relief panels and lintels on both Baltimore and Liberty facades. The majority of extant material surrounds the main entrance to the bank on Baltimore St. Most of the brownstone is smooth or honed. The hand carved relief panels at the higher elevations appear to be in good condition as does the balance of the brownstone work.

Newer brown/pink granite panels have been installed at the base of the building terminating at the sills of the ground floor windows and a decorative cornice above the ground floor. It is likely the newer granite replaced original brownstone that had failed due to exposure to snow melting salt or wear from sidewalk traffic. These stone panels have a polished finish and are in good condition.

Photo Numbers E1-E10

Drawing Numbers A3.1 Exterior Elevations

Describe work to feature

While the brownstone appears to be in "good" condition, any damaged areas should be treated as follows: Remove failed portions of stone down to solid material. Use brownstone consolidant to repair the damaged areas. Scarify the sound surface to allow the patch material to bond. Custom mix and color match a traditional cement/lime/sand/stone aggregate patch product. The repairs will be acid etched or rubbed to reveal the surface mineral grains. The edges of the area to be repaired will be slightly undercut to provide keys for the patch. The cement mixture will be applied in layers. Apply slurry coat, followed by scratch coats and then a finish coat. Treat surface to match the texture of the surrounding extant stone. Point joints between stones/patched areas using

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name Second National Bank

NPS Project Number _____

Property Address 71 Baltimore Street, Cumberland, MD

a color matched mortar softer than the stone and tooled to match the original. Prepare sample (24" x 24") to be photographed and sent as an amendment for approval before proceeding.

Number 3

Feature Copper Moldings & Roofing

Date of Feature Original to bldg/adds

Describe existing feature and its condition

The older portions of the building have undulating copper moldings along the eave and rake faces. Other copper flashing occurs at the apex of the first floor Baltimore Street bay. They are in fair to good condition. They exist on the Baltimore and Liberty Street facades principally, as some of the trim work turns back on the interior sides of the old sections. Clay tile, built-up and EPDM roofing all require minor repairs.

Photo Numbers _____

Drawing Numbers A3.1 Exterior Elevations

Describe work to feature

Direction to the contractor will be given to evaluate and secure any loose copper trim. It is not anticipated that any of the copper will need to be replaced at this time. The clay tile roof on the original bank structure is in need of repair. Damaged units will be replaced with attic stock and all areas beneath and around this work will be flashed. The built-up roof at the second floor level will be repaired and walk tiles added for maintenance worker traffic. Existing EPDM roofing at the upper level requires repair and in some cases replacement. The EPDM will receive a protective coating to extend the life of the surface.

Number 4

Feature Windows

Date of Feature Original to bldg/adds

Describe existing feature and its condition

All of the existing painted wood windows appear to be original to the structure and without probing, look to be in good shape. Early 20th century wood in-swing windows are in good working order. The main entrance on Baltimore Street and many of the first floor windows along Liberty Street were replaced with aluminum windows more than fifty years ago apparently at the same time a new two-story addition was constructed on Liberty. These aluminum replacement windows are divided-light. The second floor windows of this addition are aluminum as well. The addition on the corner of Liberty and Pershing was built in more recent decades with modern insulated glass and aluminum non-operable windows. Clear-story windows above the Board Room windows on the second floor Baltimore Street facade were obscured on the interior side when a renovation several decades ago lowered the ceiling in that space. Roman arched half-round windows at the attic level are in good condition as are Liberty Street casements at that same level.

Photo Numbers E-1, E-6, E-7, E-9, E-12, 3-43, 3-44

Drawing Numbers A3.1 Exterior Elevations

Describe work to feature

There are no proposed changes to the existing wood window exteriors other than scraping loose paint, minor repairs, cleaning, and painting. Paint color analysis may be conducted to determine early paint colors. First floor aluminum replacement windows installed on the Liberty Street elevation in the original 1893 structure shall be cleaned. Leaded glass glazing will be repaired as needed. The junctions between all windows and masonry will be resealed with urethane sealant.

Number 5

Feature Aluminum Storefront Entrances

Date of Feature c.1960, c.1980

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name Second National Bank

NPS Project Number _____

Property Address 71 Baltimore Street, Cumberland, MD

Describe existing feature and its condition

The ground floor entrances on Baltimore and Liberty Streets were installed in the mid-20th century at the time the second major addition occurred along Liberty. The clear mill-finish aluminum storefront on Baltimore Street replaced a wood and glass predecessor. An early photograph shows three risers on the exterior of the building, similar to the Liberty Street entry with pilaster capitals spanning across the opening above a pair of wooden doors. The current aluminum doors and half-round transom above are stylistically at odds with the architecture of the building. Baltimore Street aluminum doors appear to be replacements of the original aluminum doors, while the Liberty Street doors and storefront are intact from the time of the c.1950 addition. These Liberty St. doors are not ADA compliant as they are only 30" wide.

Photo Numbers _____

Drawing Numbers A3.1 Exterior Elevations

Describe work to feature

The Baltimore Street aluminum doors will be replaced with new doors and hardware that meets accessibility requirements. Style, rail and panel dimensions of the new doors shall reflect the intensions of the original architecture (see E-5). Liberty Street entry doors must be replaced to meet accessibility requirements. Existing 30" wide pair of doors will be replaced with a pair of 34" pair of doors reducing the sidelights on either side to 10". Mill aluminum finish to be painted to match historic color found on original windows. Colors to be submitted for approval by MHT. A new door (117B) is proposed on the Liberty Street Elevation in the non-contributing portion of the building where an ATM machine was once located.

Number 6

Feature ADA Compliance

Date of Feature Proposed

Describe existing feature and its condition

There is no wheelchair accessible entrance to this building. Given the first floor is approximately 22" above sidewalk grade, provisions need to be made to allow access to those with mobility constraints. There is no wheelchair accessibility to the upper level of the second floor. Much of the door hardware in the building is not ADA compliant. The existing elevator is very small and does not meet current spatial requirements. Existing bathrooms are not code compliant.

Photo Numbers _____

Drawing Numbers A2.6 , A3.1

Describe work to feature

A cast stone clad ramp is proposed at the Liberty Street entrance in order to provide an accessible entrance to the office building and proposed restaurant. The ramp will be over-built on the existing steps without damaging them. The ramp and step combination allow adequate sidewalk space between the ramp and curb. The ramp will be clad with large cast stone domestically manufactured pavers - colors to be selected and reviewed by MHT. The railing and balusters will have a dark metal finish. An interior ramp will be constructed on the second floor to allow ADA access to the upper level rooms. Code compliant door hardware will be installed on all doors. While not required, the owner is considering the upgrade of the elevator shaft and cab to a larger size. Public bathrooms will be upgraded to code compliant on all floor levels of the building.

Number 7

Feature Bank Interior

Date of Feature c. 1960

Describe existing feature and its condition

Much of the first floor bank interior casework such as teller windows and safe deposit privacy rooms are intact and in good condition. However, much of it is not conducive to

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name Second National Bank

NPS Project Number _____

Property Address 71 Baltimore Street, Cumberland, MD

alternative uses. Existing ceiling materials including plaster, 12x12 acoustic ceiling tiles and luminous ceiling grid appear to be intact and in good condition. Existing terrazzo floor appears to be in good condition where visible. Carpet tile is in fair to good condition in some areas. Carpet within teller areas is in poor condition.

Photo Numbers 1-20, 1-40,

Drawing Numbers A1.2, A1.6

Describe work to feature

Much of the existing wood casework on the walls of the first floor will remain untouched. Some of the teller windows will be removed in order to free up space for a new restaurant and banquet room. Some features such as the safe deposit privacy rooms will be removed to make room for the new tenant requirements. Much of the existing ceiling will remain as is except for painting and light fixture replacement. Existing terrazzo flooring will remain as will much of the ceiling plaster and low casework. Carpet may be salvaged or replaced depending on tenant fit-out.

Number 8	Feature Paths of Egress 1-3 Floors	Date of Feature c. 1960
----------	------------------------------------	-------------------------

Describe existing feature and its condition

Staircase A is buried in the middle of the building plan and does not have direct egress to the exterior of the building. The existing offices and associated spaces on the second and third floors have been altered over the life of the building. Because it was all one tenant, paths of egress to the three staircases was not ever a concern. As proposed, there would be multiple tenants on the second and third floors and some of these spaces do not have the code required two means of egress.

Photo Numbers _____

Drawing Numbers A2.1-A2.3, A2.6-A2.8

Describe work to feature

Wall configurations are being changed to allow code compliant egress from all floors of the building. On the first floor, Stair A will have a direct passage to the service alley in order to safely deliver occupants to the exterior from the upper levels. On the second floor, a corridor will connect interior staircases A, B and C. On the third floor, a corridor will connect interior staircases A and C. Suites are created as shown on the drawings.



1 Baltimore Street Elevation
Scale: 1/8" = 1'-0"



2 Pershing Street Elevation
Scale: 1/8" = 1'-0"



3 Service Alley Elevation
Scale: 1/8" = 1'-0"



4 Liberty Street Elevation
Scale: 1/8" = 1'-0"

RAMP

Note: ADA compliant (new) locations as indicated

WSP INCHES	STRUCTURAL ENGINEER	ARCHITECT	SCALE

GDA Project Number 23370	GDA Project Number XXX - YYYY	GDA Project Number Drawing Number
Proposed Exterior Building Elevations		
Scale	Date Issued 07/19/24	Checked By LUD
Drawn By MWC		
Revisions:		
		Date

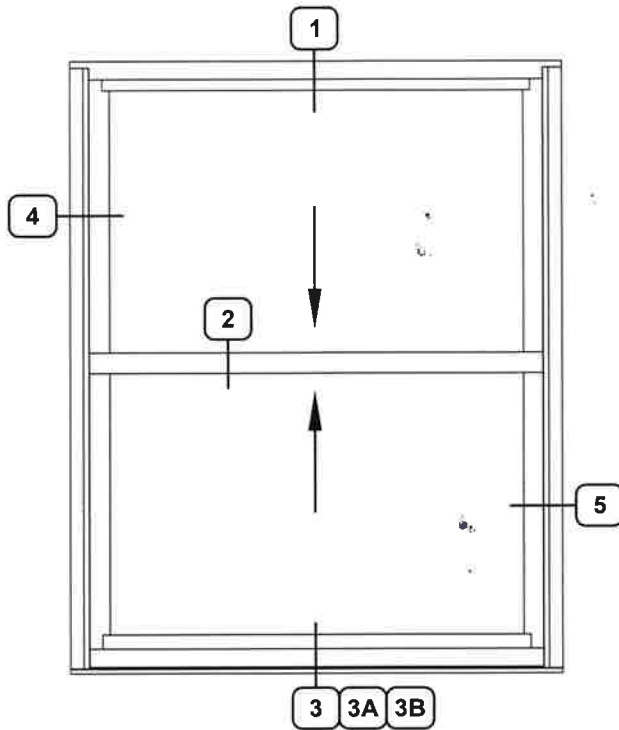
71 Baltimore Street LLC

Cumberland, Maryland

A3.1

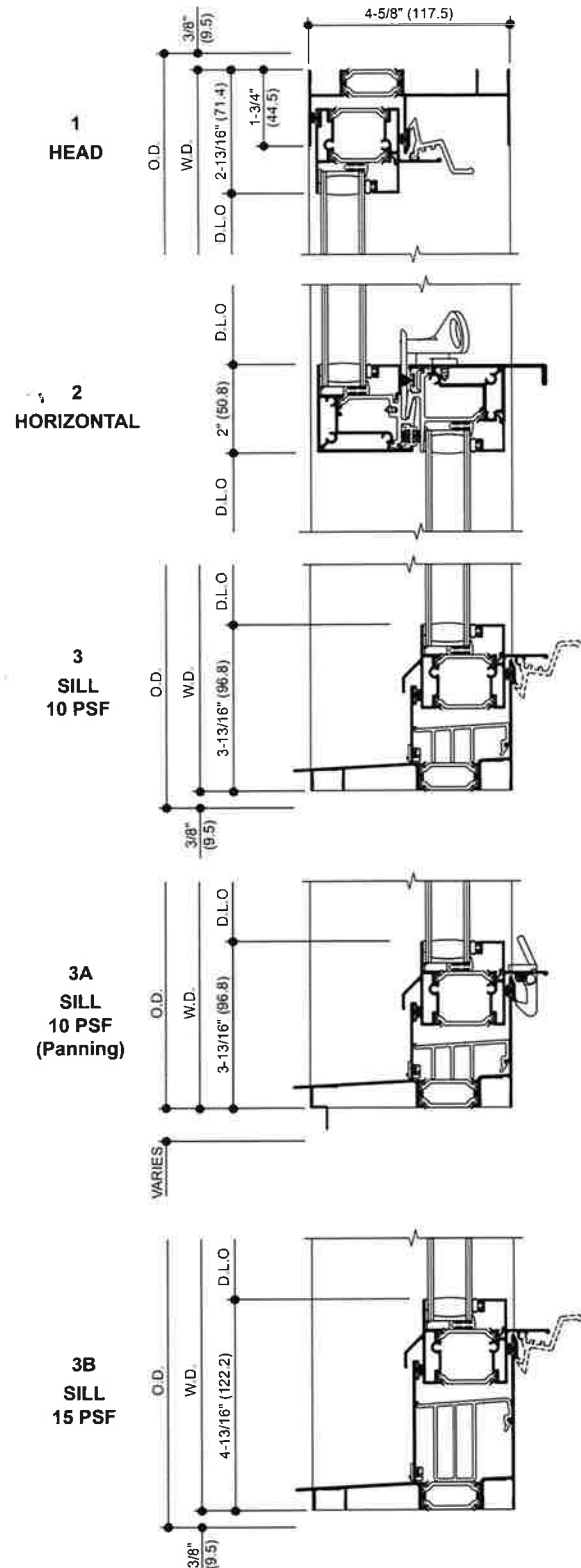
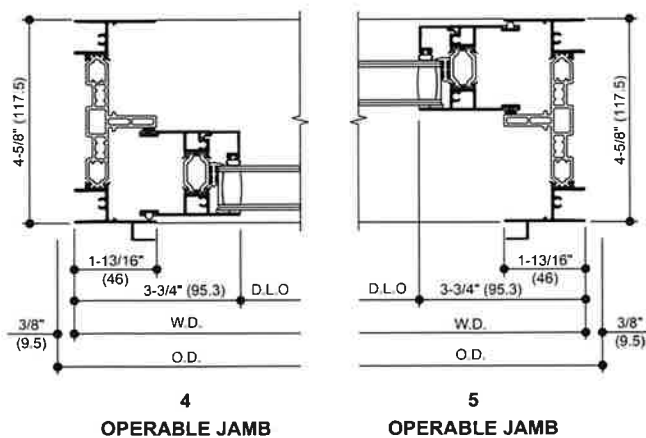
Additional information and CAD details are available at www.kawneer.com

AA®5450 DOUBLE HUNG WINDOW (1" Double Glazed)



TYPICAL ELEVATION

Log onto www.kawneer.com for other configurations

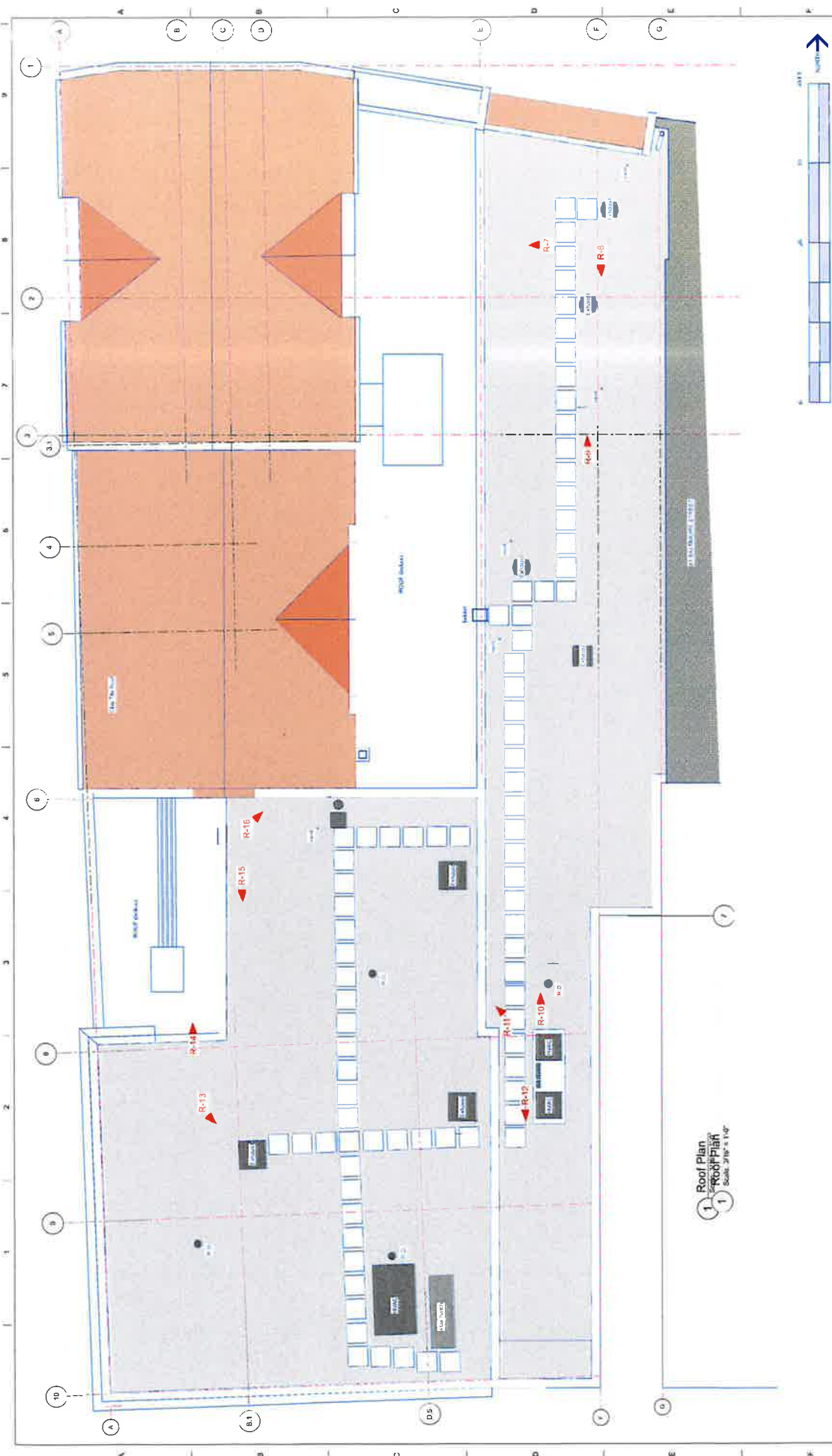


Note:

15 PSF sill also available for use with panning.

Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
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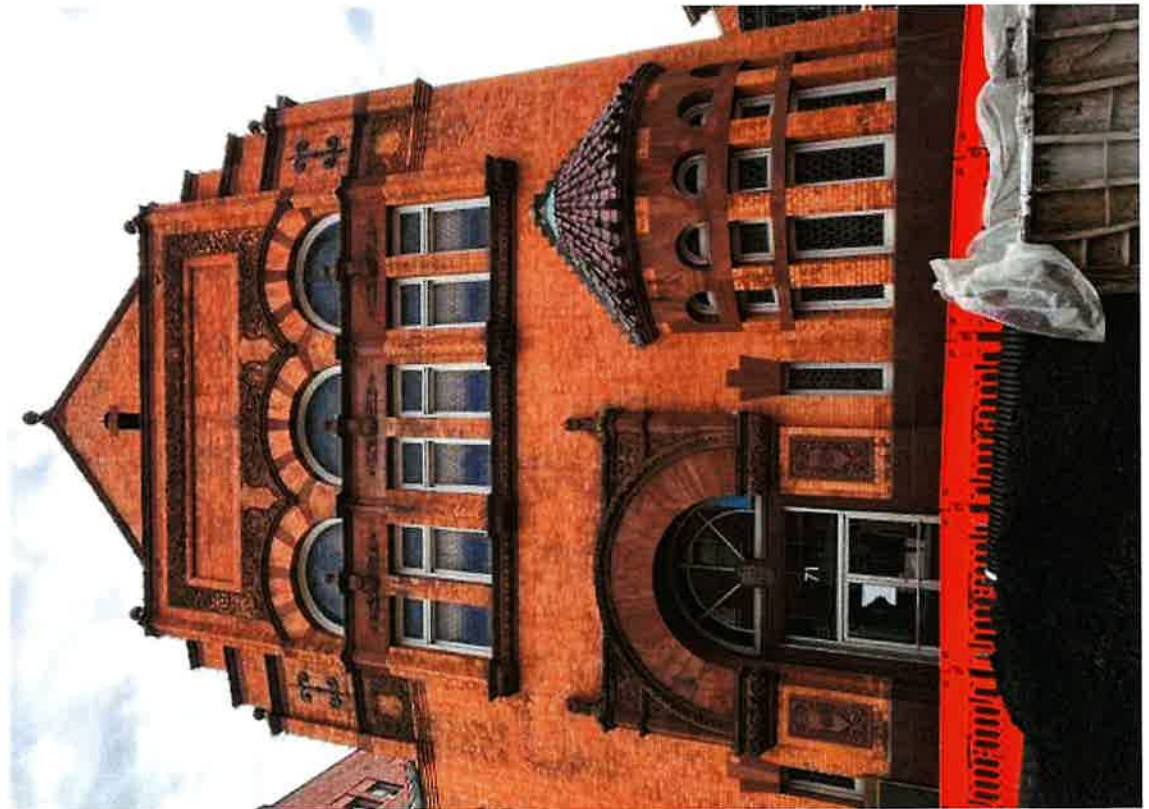
GDA Project Number 23370		Drawing Title Roof Level Construction Plan		GDA Project Number XXX - YYYY		Drawing Number A2.4	
Client Project Number XXX - YYYY		Date Based 05/28/24		Drawn By MNG		Checked By LMQ	
Drawing Number		Scale 3/8" = 1'-0"		Date		Revision	
REVISIONS:							
71 Baltimore Street LLC Cumberland, Maryland				GDA ARCHITECT SAL			



Exterior



E-1 Baltimore Street (North) Elevation_2023_12



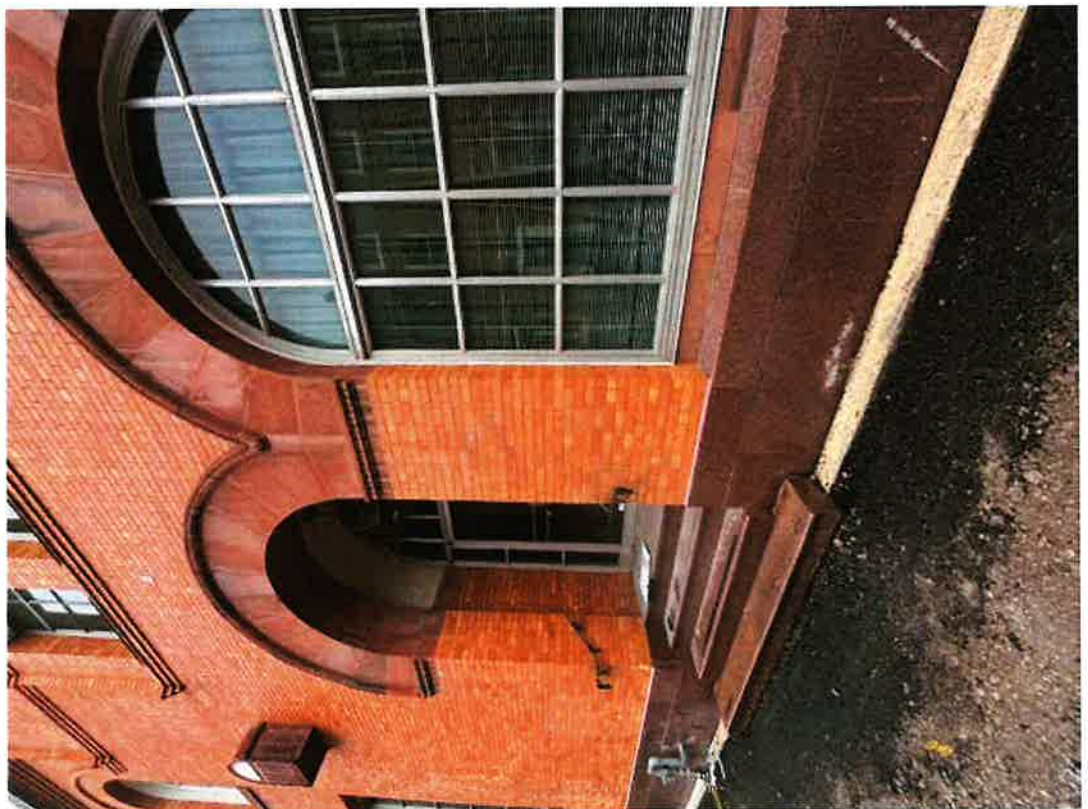
E-2 Baltimore Street Elevation, Right Side_2023_12



Exterior



E-9 Liberty Street (West) Elevation_2023_12



E-10 Liberty Street Entrance_2023_12



Exterior



E-13 Liberty Street and Pershing Street Corner_2023_12



E-14 Pershing Street (South) Elevation_2023_12

Historic Preservation Tax Credit Program

Tax Credit Program for Property Owners of Historic Buildings

Step 1 – Certification of Eligibility – to be approved by City of Cumberland Historic Preservation Commission

General Property Information

Property Address: 71 Baltimore Street, Cumberland, MD 21502

Tax ID#: 93-2728051

Property Owner(s):

Name: 71 Baltimore Street LLC - Kristin Timbrook, Managing Member

Address: 10210 Mount Savage Road NW, Cumberland, MD 21502

Phone/Email: 301-697-1173 / ktimbrook@timbrook.com

Property Type (select one)

- ☐ Residential
- ☒ Income -producing
- ☐ Infill

The structure is located in the (select all that apply):

- ☒ National Register of Historic Places
- ☐ Canal Place Preservation district
- ☒ Downtown Cumberland National Register Historic District
- ☐ Washington Street National Register Historic District
- ☐ Greene Street National Register Historic District
- ☐ Decatur Street National Register Historic District
- ☐ South Cumberland/Chapel Hill National Register Historic District
- ☐ Rolling Mill National Register Historic District

Provide brief description of proposed work:

Work includes the addition of a handicap accessible ramp, painting/repair of windows, new entry doors,
new rooftop HVAC equipment, new roofing and roof coating on existing EPDM surfaces. On the interior
there will be new lighting, modifications to the teller millwork, new commercial kitchen for restaurant on
first floor. New bathrooms and finishes throughout.

Historic Preservation Tax Credit Program

Tax Credit Program for Property Owners of Historic Buildings

Step 2 – Pre-Construction Work Scope Application – to be approved by City of Cumberland Historic Preservation Commission

General Property Information

Property Address: 71 Baltimore Street, Cumberland, MD 21502

Tax ID#: 93-2728051

Property Owner(s):

Name: 71 Baltimore Street LLC - Kristin Timbrook, Managing Member

Address: 10210 Mount Savage Road NW, Cumberland, MD 21502

Phone/Email: 301-697-1173 / ktimbrook@timbrook.com

Checklist

- € Detailed description of all proposed work items, with information on existing condition and proposed colors, materials, dimensions, samples, etc.
- € Color photos of the following:
 - Principal facade of structure
 - Proposed areas of work
 - Immediate environmental setting, viewsheds to and from the property, and streetscape views
- € Sketch of site or site plan
- € Architectural or shop drawings, as required
- € Ensure that all relevant building and code-related permits are obtained from the City of Cumberland's Department of Community Development. Checklists are available upon request to address your specific scope of work.

Owner Authorization

I hereby certify that the information supplied with this form is correct and complete to the best of my knowledge, and authorize such periodic on-site inspections by the City of Cumberland Department of Community Development, as may be necessary, to assess this work.



Signature of Owner or Authorized Agent

10/27/2025

Date

Historic Preservation Planner or Authorized Agent

Date

Wes Moore, Governor
Aruna Miller, Lt. Governor



Rebecca L. Flora, AICP, Secretary
Elizabeth Hughes, MHT Director and
State Historic Preservation Officer

Maryland
DEPARTMENT OF PLANNING
MARYLAND HISTORICAL TRUST

Maryland Historic Revitalization Tax Credit
Initial Credit Certificate
for the
Competitive Commercial Tax Credit

Project Number: 2024-153

Project Name: Second National Bank Building

Project Address: 71 Baltimore Street, Cumberland, MD 21502

Issue Date (Part 2 Approval): 2/10/2025

Estimated Qualified Rehabilitation Expenditures (QRE) from Part 2 Application:	\$ 6,500,000.00
(a) 20% of the Estimated QRE:	\$ 1,300,000.00
(b) Supplemental credit, if requested in Part 2:	\$ 0
Lesser of \$5,000,000 or sum of (a) and (b):	\$ 1,300,000.00
Maximum Competitive Commercial Tax Credit:	\$ 1,300,000.00

Note: The Competitive Commercial Tax Credit may not exceed the lesser of \$5,000,000 or the sum of (a) 20% of the estimated rehabilitation expenditures identified in the applicant's Part 2 application and (b) if requested in the Part 2 application an additional 5% or 7.5% credit.

Collin Ingraham
Collin Ingraham (Feb 11, 2025 09:21 EST)

Collin Ingraham
Deputy Director
Maryland Historical Trust

Historic Preservation Tax Credit Program

Tax Credit Program for Property Owners of Historic Buildings

Step 1 – Certification of Eligibility – to be approved by City of Cumberland Historic Preservation Commission

General Property Information

Property Address: 81 Baltimore Street, Cumberland, MD 21502

Tax ID#: 88-3001430

Property Owner(s):

Name: 81 Baltimore Street LLC - Kristin Timbrook, Managing Member

Address: 10210 Mount Savage Road NW, Cumberland, MD 21502

Phone/Email: 301-697-1173 / ktimbrook@timbrook.com

Property Type (select one)

- ☒ Residential
- ☐ Income -producing
- ☐ Infill

The structure is located in the (select all that apply):

- ☒ National Register of Historic Places
- ☐ Canal Place Preservation district
- ☒ Downtown Cumberland National Register Historic District
- ☐ Washington Street National Register Historic District
- ☐ Greene Street National Register Historic District
- ☐ Decatur Street National Register Historic District
- ☐ South Cumberland/Chapel Hill National Register Historic District
- ☐ Rolling Mill National Register Historic District

Provide brief description of proposed work:

The entire building will be renovated. Floors two through 6 will be converted to a total
of 19 residential apartments. The ground floor will be renovated and converted into a
fitness center, retail space and a lobby for the apartments. The existing fire escape will
be removed and two new code complaints stairs constructed.

Historic Preservation Tax Credit Program

Tax Credit Program for Property Owners of Historic Buildings

Step 2 – Pre-Construction Work Scope Application – to be approved by City of Cumberland Historic Preservation Commission

General Property Information

Property Address: 81 Baltimore Street, Cumberland, MD 21502

Tax ID#: 88-3001430

Property Owner(s):

Name: 81 Baltimore Street LLC - Kristin Timbrook, Managing Member

Address: 10210 Mount Savage Road NW, Cumberland, MD 21502

Phone/Email: 301-697-1173 / ktimbroom@timbrook.com

Checklist

- € Detailed description of all proposed work items, with information on existing condition and proposed colors, materials, dimensions, samples, etc.
- € Color photos of the following:
 - Principal facade of structure
 - Proposed areas of work
 - Immediate environmental setting, viewsheds to and from the property, and streetscape views
- € Sketch of site or site plan
- € Architectural or shop drawings, as required
- € Ensure that all relevant building and code-related permits are obtained from the City of Cumberland's Department of Community Development. Checklists are available upon request to address your specific scope of work.

Owner Authorization

I hereby certify that the information supplied with this form is correct and complete to the best of my knowledge, and authorize such periodic on-site inspections by the City of Cumberland Department of Community Development, as may be necessary, to assess this work.



Signature of Owner or Authorized Agent

10/27/2025

Date

Historic Preservation Planner or Authorized Agent

Date

Wes Moore, Governor
Aruna Miller, Lt. Governor



Rebecca L. Flora, AICP, Secretary
Elizabeth Hughes, MHT Director and
State Historic Preservation Officer

Maryland
DEPARTMENT OF PLANNING
MARYLAND HISTORICAL TRUST

Maryland Historic Revitalization Tax Credit
Initial Credit Certificate
for the
Competitive Commercial Tax Credit

Project Number: 2024-154

Project Name: Liberty Trust Bank Building

Project Address: 81 Baltimore Street, Cumberland, MD 21502

Issue Date (Part 2 Approval): 2/10/2025

Estimated Qualified Rehabilitation Expenditures (QRE) from Part 2 Application:	\$ 7,500,000.00
(a) 20% of the Estimated QRE:	\$ 1,500,000.00
(b) Supplemental credit, if requested in Part 2:	\$ 0
Lesser of \$5,000,000 or sum of (a) and (b):	\$ 1,500,000.00
Maximum Competitive Commercial Tax Credit:	\$ 1,500,000.00

Note: The Competitive Commercial Tax Credit may not exceed the lesser of \$5,000,000 or the sum of (a) 20% of the estimated rehabilitation expenditures identified in the applicant's Part 2 application and (b) if requested in the Part 2 application an additional 5% or 7.5% credit.

Collin Ingraham
Collin Ingraham (Feb 11, 2025 09:21 EST)

Collin Ingraham
Deputy Director
Maryland Historical Trust